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CONTACT LIST	
DESIGN CONSULTANT	
BUSINESS NAME	TENANT IMPROVEMENT CONSULTING INC.
BUILDING #	#8-21267
STREET	83A AVENUE
CITY	LANGLEY
PROVINCE	BRITISH COLUMBIA
POSTAL CODE	V3S 0E6
CONTACT NAME	JACK SALAZAR
PHONE NUMBER	778.957.0424
EMAIL ADDRESS	JSALAZAR@TENANTIMPROVEMENTCONSULTING.CA

CONTACT LIST	
INTERIOR DESIGNER	
BUSINESS NAME	FOCUSED INTERIORS
BUILDING #	-
STREET	-
CITY	WHITE ROCK
PROVINCE	BRITISH COLUMBIA
POSTAL CODE	-
CONTACT NAME	KATHIE-LEE OLSON
PHONE NUMBER	778.242.2778
EMAIL ADDRESS	KATHIELEE@FOCUSEDINTERIORS.COM
ELECTRICAL/MECHANICAL ENGINEER	
BUSINESS NAME	CADA & ASSOCIATES CONSULTING LTD.
BUILDING #	UNIT 201 - 1940
STREET	OXFORD CONNECTOR
CITY	PORT COQUITLAM
PROVINCE	BRITISH COLUMBIA
POSTAL CODE	V3C 0A4
CONTACT NAME	CARLO V. AMBRITO
PHONE NUMBER	604.210.0021
EMAIL ADDRESS	CARLO.AMBITO@CADACONSULTANTS.COM
CLIENT	
BUSINESS NAME	MOCHIDO
BUILDING #	UNIT 100 - 1188
STREET	PINETREE WAY
CITY	COQUITLAM
PROVINCE	BRITISH COLUMBIA
POSTAL CODE	V3B 0K9
CONTACT NAME	VIHN NGUYEN
PHONE NUMBER	778.325.5195
EMAIL ADDRESS	VINH@MOCHIDOYVR.COM



PROJECT NAME
MOCHIDO
PROJECT #
22TI15
ADDRESS
UNIT 100
1188 PINETREE WAY
COQUITLAM, B.C.
V3B 0K9

ARCHITECTURAL SET
COVER PAGE

DATE
SEPTEMBER 22, 2022
SCALE
TRUE NORTH

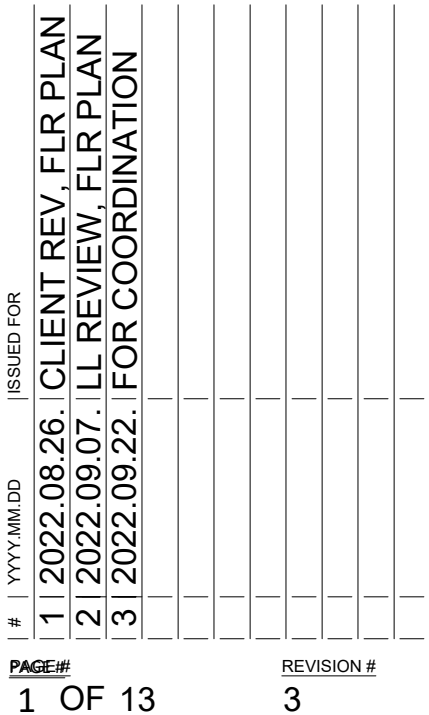
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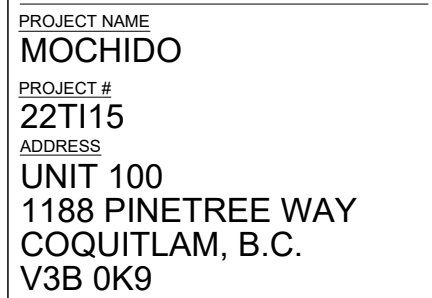
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1	2022.08.26.	CLIENT REV, FLR PLAN
2	2022.09.07.	LL REVIEW, FLR PLAN
3	2022.09.22.	FOR COORDINATION

PROJECT SPECIFICS		
PROJECT DESCRIPTION	TENANT IMPROVEMENT	PART 3
LEGAL LOT DESCRIPTION	STRATA PLAN OF LOT 2, DISTRICT LOT 384A, GROUP 1, N.W.D. BCP46712	
CIVIC ADDRESS	UNIT 100-1188 PINETREE WAY, COQUITLAM, B.C.	
ZONING	C-1	
MAJOR OCCUPANCY	GROUP E	3.1.2.1.(2)
USE	DONUT SHOP	
ASSEMBLY TYPE	NON-COMBUSTIBLE	
SUITE AREA GROSS	103.959 M ²	
BUILDING HEIGHT	42	3.2.1.1.
PROJECT NUMBER OF LEVELS	1	3.2.2.
MEZZANINE	NO	
NUMBER OF STREETS	2	
FIRE SUPPRESSION SYSTEM	YES	
FIRE ALARM	YES	
WATER SUPPLY ADEQUATE	YES	
FLOOR ABOVE	COMMERCIAL	
MAIN FLOOR	COMMERCIAL, RESIDENTIAL AND COMMERCIAL PARKING	
SPACE BELOW	RESIDENTIAL PARKING	
PARKING	SHARED PARKING	
STAND PIPE	YES	3.2.5.8.
EMERGENCY LIGHTING	YES	3.2.7.3.
WASHROOM(S)	1 UNIVERSAL WASHROOM 1 WASHROOM	
BARRIER FREE DESIGN	YES	3.8.
AMOUNT OF EXITS	3	

SITE PLAN

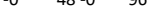
The site plan shows a large, irregularly shaped property outlined in red. The property is bounded by Glen Drive to the north, Pinetree Way to the east, and Atlantic Avenue to the south. A smaller, rectangular building footprint is shown within the property, labeled 'MOCHIDO'. The property line is marked with red lines and the text 'PROPERTY LINE'. The surrounding area is shaded in light gray. The address '2992' is visible on the left side of the plan. The street names 'Glen Drive', 'Pinetree Way', and 'Atlantic Avenue' are labeled. The plan also shows a yellow line representing a boundary or easement.





DATE
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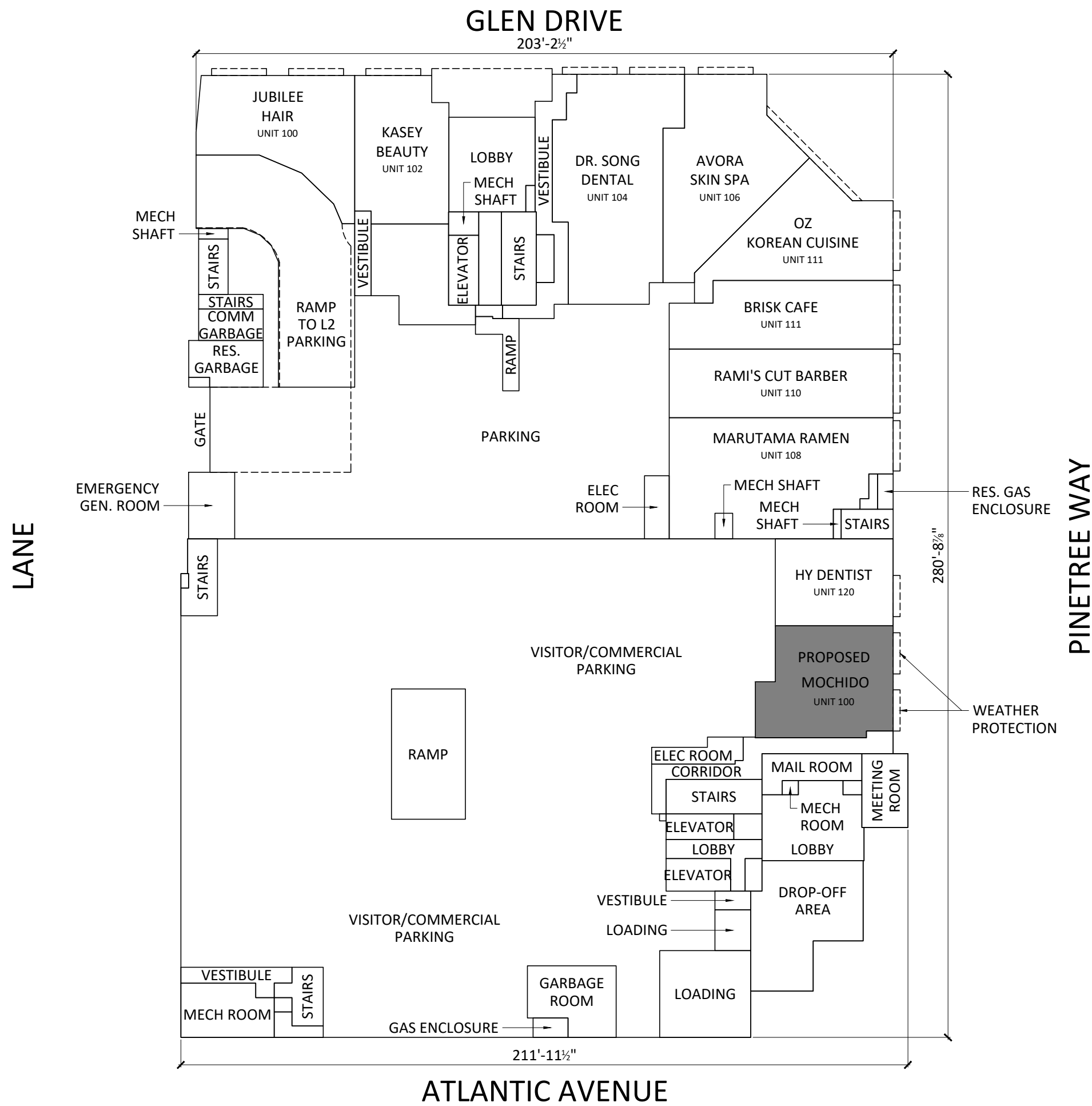

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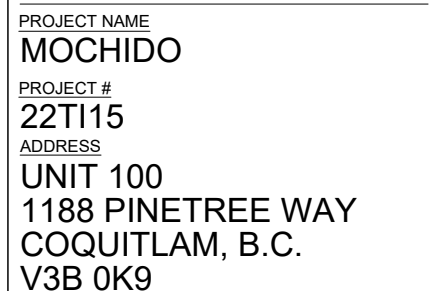
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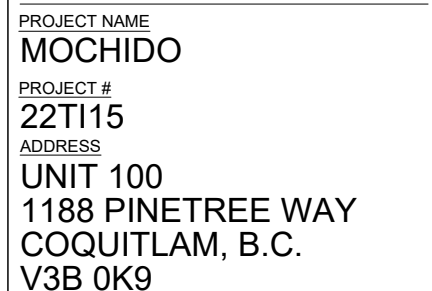
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 **1/4" = 1'-0"**



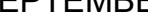
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DATE **SEPTEMBER 22, 2022**

SCALE **0'-0" 3'-0" 6'-0"** TRUE NORTH

 **1/4" = 1'-0"**



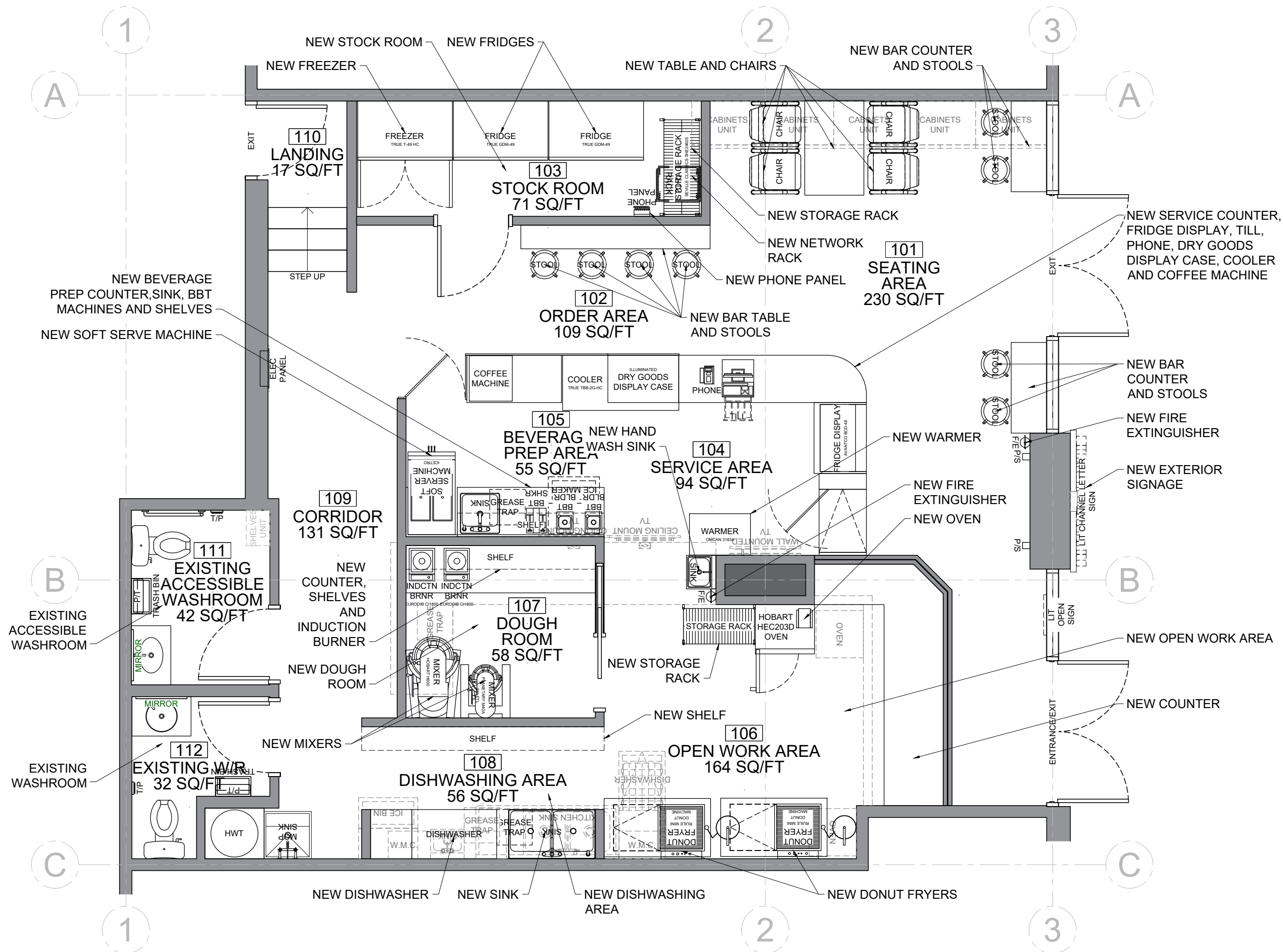
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PROJECT NAME
MOCHIDO

PROJECT #
22TI15

ADDRESS
UNIT 100
1188 PINETREE WAY
COQUITLAM, B.C.
V3B 0K9

ARCHITECTURAL SET
FLOOR PLAN

DATE
SEPTEMBER 22, 2022

SCALE
0'-0" 3'-0" 6'-0" TRUE NORTH

1/4" = 1'-0"

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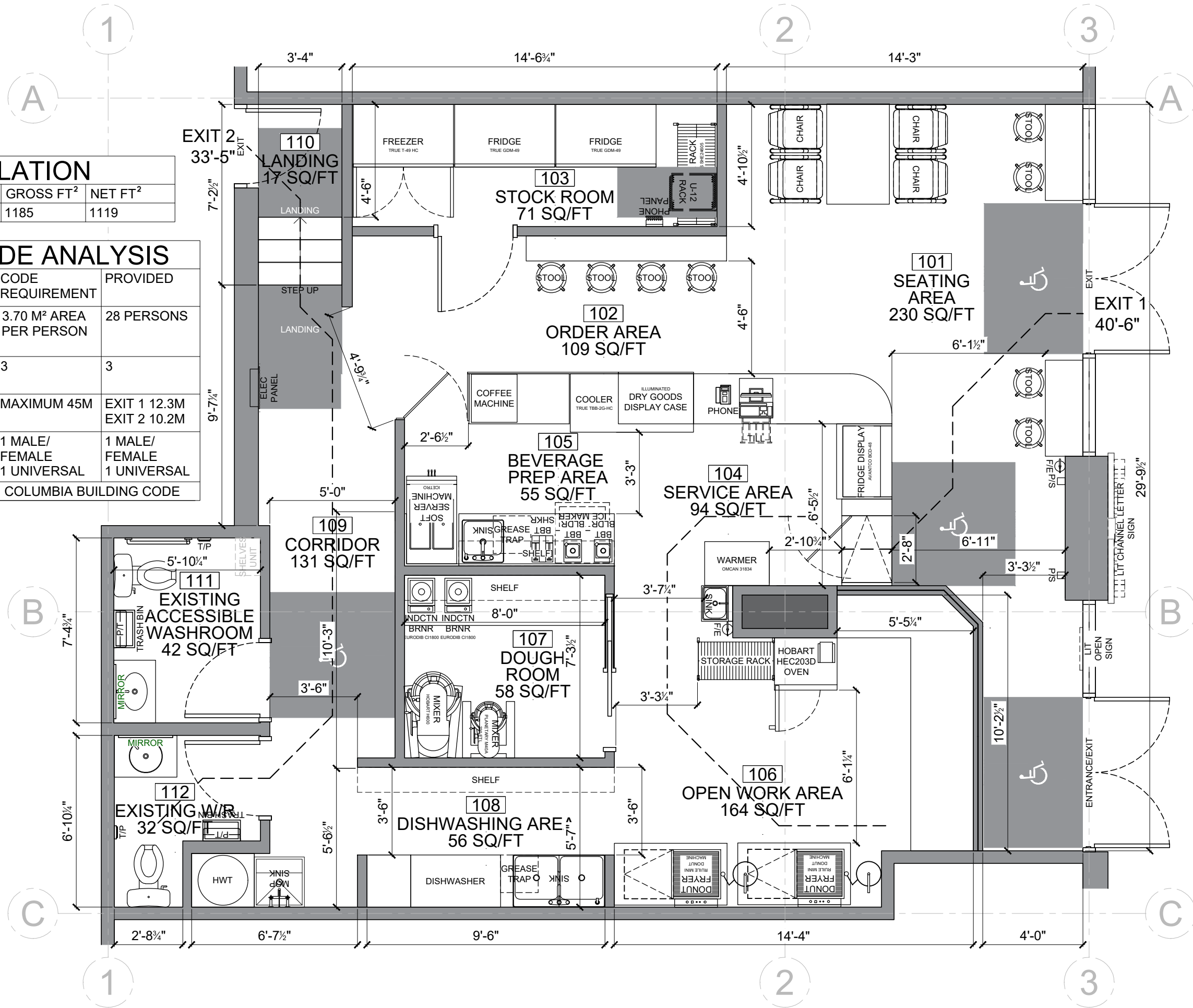
AREA CALCULATION

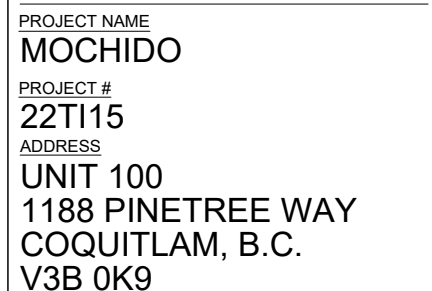
AREA	GROSS FT ²	NET FT ²
MAIN LEVEL	1185	1119

BUILDING CODE ANALYSIS

CODE NOTE	CODE NAME	CODE REQUIREMENT	PROVIDED
3.1.17.1. 1) C)	OCCUPANT LOAD DETERMINATION	3.70 M ² AREA PER PERSON	28 PERSONS
3.4.2.1. 1)	NUMBER OF EXITS	3	3
3.4.2.5. 1) C)	LOCATION OF EXITS	MAXIMUM 45M	EXIT 1 12.3M EXIT 2 10.2M
3.7.2.2. 13)	(NUMBER OF) WATER CLOSETS	1 MALE/ FEMALE 1 UNIVERSAL	1 MALE/ FEMALE 1 UNIVERSAL

REFERENCE: 2018 BRITISH COLUMBIA BUILDING CODE



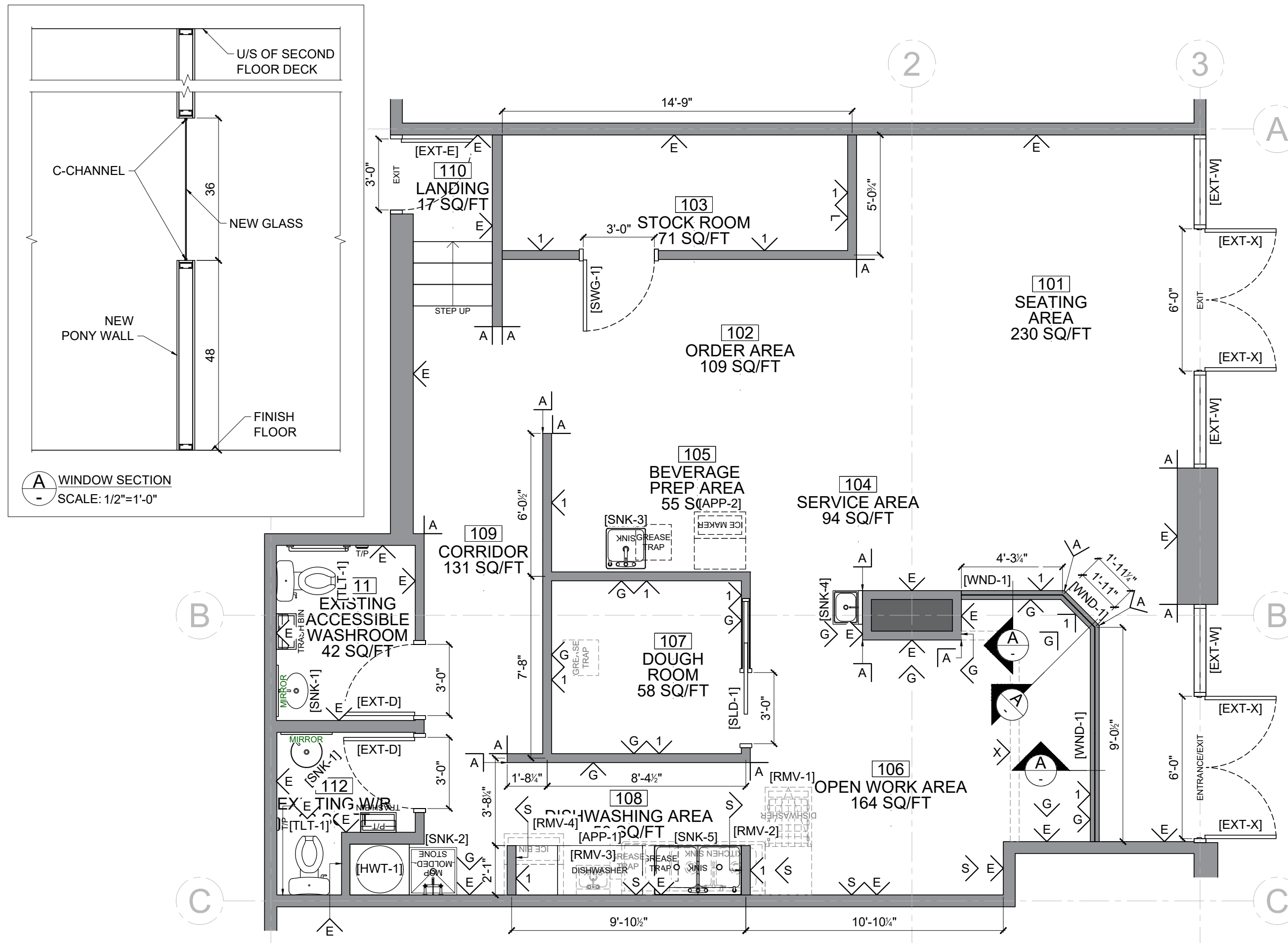


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SCALE **0'-0" 3'-0" 6'-0"** TRUE NORTH

 1/4" = 1'-0"

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DOOR SCHEDULE

TAG	STATUS	LOCATION	MOTION	MATERIAL	HEIGHT	HANDLE	LOCK	FEATURE
[EXT-D]	EXISTING	EXISTING ACCESSIBLE WASHROOM AND EXISTING WASHROOM	SWING	HALLOW CORE	6'-8"	LEVER	PRIVACY LOCK	-
[EXT-E]	EXISTING	BACK DOOR	SWING	METAL	7'-0"	LEVER	-	MANUAL SELF-CLOSING DEVICE
[EXT-X]	EXISTING	FRONT DOORS	SWING	ALUMINIUM AND GLAZING	7'-0"	D- HANDLE OR CRASH BAR	DEAD BOLT	MANUAL SELF-CLOSING DEVICE
[SWG-1]	NEW	STOCK ROOM	SWING	SOLID CORE	6'-8"	LEVER	KEY LOCK	AIR FLOW LOUVERS AT TOP AND BOTOOM
[SLD-1]	NEW	DOUGH ROOM	SLIDING	SOLID CORE	6'-8"	FINGER PULL	-	CLEAR GLASS INSERT

NOTE:

1. REFER TO PLAN FOR ALL DOOR OPENING AND ASSEMBLY WIDTHS
2. MOUNT ALL DOOR HANDLES AT 36" A.F.F.

WALL SCHEDULE

TAG	STATUS	LOCATION	TYPE	HEIGHT	SECTION	ASSEMBLY DESCRIPTION
	EXISTING	SEATING AREA, STOCK ROOM, SERVICE AREA, OPEN WORK AREA, DISHWASHING AREA, CORRIDOR, EXISTING ACCESSIBLE WASHROOM, EXISTING WASHROOM AND LANDING	PARTITION WALL OR COLUMN	-	-	-
	NEW	DOUGH ROOM, OPEN WORK AREA AND DISHWASHING AREA	FRP GLASS BOARD	9'-0" A.F.F.	-	-
	NEW	STORAGE ROOM	PLYWOOD	FULL HEIGHT	-	1/2" PLYWOOD BACKING FULL HEIGHT EXPOSED ON THE SURFACE OF WALL
	NEW	BEVERAGE PREP AREA, DOUGH ROOM, STOCK ROOM AND DISHWASHING AREA	PARTITION WALL	FULL HEIGHT WALL		[A] 1/2" G.W.B. [B] 2"X4" STEEL STUD AT 16" O.C. [C] 1/2" G.W.B.
	REMOVED	OPEN WORK AREA	PARTITION WALL	-	-	-
	NEW	OPEN WORK AREA AND DISHWASHING AREA	S.S. PANEL	5'-0"	-	-
	NEW	ORDER AREA, BEVERAGE AREA, SEATING AREA, SERVICE AREA, OPEN WORK AREA AND CORRIDOR	S.S. CORNER	4'-0"	-	4"X4"



PROJECT NAME
MOCHIDO

PROJECT #
22TI15

ADDRESS
**UNIT 100
1188 PINETREE WAY
COQUITLAM, B.C.
V3B 0K9**

**ARCHITECTURAL SET
DOOR AND WALL
SCHEDULES**

DATE
SEPTEMBER 22, 2022

SCALE
TRUE NORTH

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WINDOW SCHEDULE					
TAG	STATUS	LOCATION	GLAZING	FRAME	DESCRIPTION
[EXT-W]	EXISTING	STORE FRONT	-	-	-
[WND-1]	NEW	OPEN WORK AREA	10MM	-	SINGLE GLAZED

PLUMBING SCHEDULE				
TAG	STATUS	LOCATION	TYPE	ACCESSORIES
[APP-1]	NEW	DISHWASHING AREA	DISHWASHER	-
[APP-2]	NEW	BEVERAGE PREP AREA	ICE MAKER	-
[SNK-1]	EXISTING	EXISTING ACCESSIBLE WASHROOM	LAVATORY	-
[SNK-2]	EXISTING	CORRIDOR	LAUNDRY SINK	-
[SNK-4]	NEW	BEVERAGE PREP AREA	SINGLE BOWL SINK	FAUCET
[SNK-5]	NEW	SERVICE AREA	HAND WASH SINK	FAUCET
[SNK-6]	NEW	DISHWASHING AREA	DOUBLE BOWL SINK	FAUCET AND SPRAYER
[TLT-1]	EXISTING	EXISTING ACCESSIBLE WASHROOM AND EXISTING WASHROOM	WATER CLOSET	TOILET SEAT
[RMV-1]	REMOVED	DISHWASHING AREA	DISHWASHER	-

PLUMBING SCHEDULE				
TAG	STATUS	LOCATION	TYPE	ACCESSORIES
[RMV-2]	REMOVED	DISHWASHING AREA	KITCHEN SINK	-
[RMV-3]	REMOVED	DISHWASHING AREA	HAND WASH SINK	-
[RMV-4]	REMOVED	DISHWASHING AREA	ICE MAKER	-

PLUMBING SCHEDULE				
TAG	STATUS	LOCATION	TYPE	ACCESSORIES
[RMV-2]	REMOVED	DISHWASHING AREA	KITCHEN SINK	-
[RMV-3]	REMOVED	DISHWASHING AREA	HAND WASH SINK	-
[RMV-4]	REMOVED	DISHWASHING AREA	ICE MAKER	-



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UNIT 100
1188 PINETREE WAY
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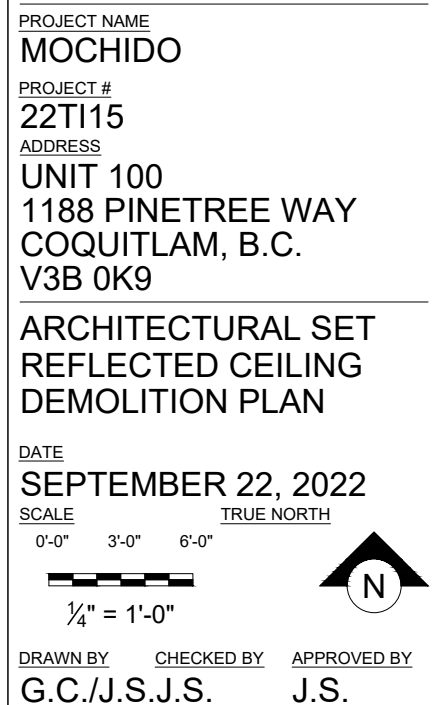
ARCHITECTURAL SET
WALL, WINDOW AND
PLUMBING SCHEDULES

DATE
SEPTEMBER 22, 2022

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TRUE NORTH

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PROJECT NAME
MOCHIDO

PROJECT #
22TI15

ADDRESS
UNIT 100
1188 PINETREE WAY
COQUITLAM, B.C.
V3B 0K9

ARCHITECTURAL SET
REFLECTED CEILING
PLAN

DATE
SEPTEMBER 22, 2022

SCALE
0'-0" 3'-0" 6'-0"

1/4" = 1'-0"

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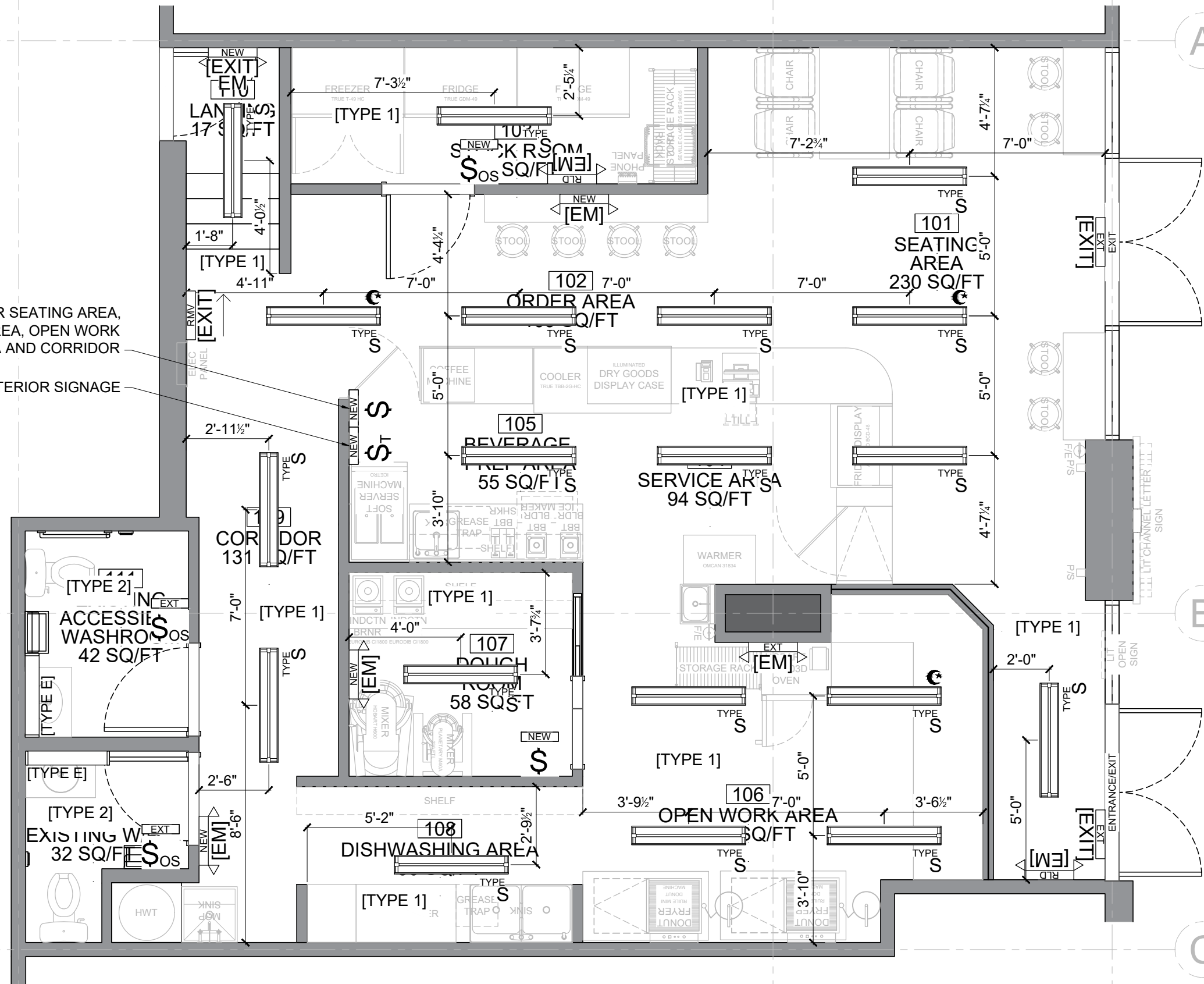
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NOTES

1. NIGHT LIGHTS ARE MARKED BY A CRESCENT MOOD AND STAR
2. INSTALL EMERGENCY LIGHTS AND EXIT SIGNS AS PER PLAN AND TO PREVAILING BUILDING CODE. IF CONTRACTOR PERCEIVES CODE REQUIREMENTS DIFFER FROM PLAN, THE CONTRACTOR IS REQUIRED TO NOTIFY THE CONSULTANT IN WIRING DIRECTLY RIGHT AWAY

LIGHT SWITCH FOR SEATING AREA,
ORDER AREA, SERVICE AREA, OPEN WORK
AREA, DISHWASHER AREA AND CORRIDOR

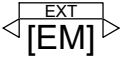
LIGHT SWITCH FOR EXTERIOR SIGNAGE



CEILING LEGEND

MARKER	STATUS	NAME	LOCATION	MOUNTING HEIGHT	DESCRIPTION
[TYPE 1]	EXISTING	OPEN CEILING	SEATING AREA, ORDER AREA, SERVICE AREA, STORAGE ROOM, CORRIDOR, MIXER CLOSET, OPEN WORK AREA AND DISHWASHING AREA	-	REMAIN AS IS
[TYPE 2]	EXISTING	G.W.B. CEILING	EXISTING ACCESSIBLE WASHROOM AND EXISTING WASHROOM	-	REMAIN AS IS

LIGHT FIXTURE SCHEDULE

MARKER	STATUS	NAME	LOCATION	MOUNTING HEIGHT
 NEW [EM]	NEW	EMERGENCY LIGHT	STORAGE ROOM, ORDER AREA, CORRIDOR AND DOUGH ROOM	8'-6" A.F.F.
 EXT [EM]	EXISTING	EMERGENCY LIGHT	OPEN WORK AREA	-
 R.L.D. [EM]	RELO-CATED EXISTING	EMERGENCY LIGHT	ENTRANCE/EXIT	-
 RMV [EM]	REMOVED	EMERGENCY LIGHT	STORAGE ROOM AND OPEN WORK AREA	-
 NEW [EXIT] EM	NEW	EMERGENCY LIGHT/EXIT SIGN COMBO	LANDING	8'-0" A.F.F.
 EXT [EXIT]	EXISTING	EXIT SIGN	FRONT DOORS	-
[TYPE S]	NEW	SUSPENDED LIGHT	SEATING AREA, ORDER AREA, STORAGE ROOM, SERVICE AREA, BEVERAGE PREP AREA, LANDING, CORRIDOR, MIXER CLOSET, OPEN WORK AREA AND DISHWASHING AREA	9'-0" A.F.F.
[TYPE E]	EXISTING	WALL MOUNTED LIGHT	EXISTING ACCESSIBLE WASHROOM AND EXISTING WASHROOM	-
[TYPE D]	REMOVED	DIRECTION TRACK LIGHT	SEATING AREA, ORDER AREA, SERVICE AREA, DISHWASHING AREA AND OPEN WORK AREA	-

LIGHT FIXTURE SCHEDULE

MARKER	STATUS	NAME	LOCATION	MOUNTING HEIGHT
[TYPE F]	REMOVED	FEATURE LIGHT	CORRIDOR, ORDER AREA, SERVICE AREA, SEATING AREA AND ENTRANCE/EXIT DOORS	-
[TYPE T]	REMOVED	STRIP LIGHT	OPEN WORK AREA AND DOUGH ROOM	-

LIGHT SWITCH SCHEDULE

MARKER	STATUS	NAME	LOCATION	CONTROLLING	MOUNTING HEIGHT
 EXT \$ _{OS}	EXIST-ING	OCCUPANCY SENSOR/MANUAL SWITCH COMBO	EXISTING ACCESSIBLE WASHROOM AND EXISTING WASHROOM	AREA LIGHT FIXTURES	3'-0" A.F.F.
 NEW \$ _{OS}	NEW	OCCUPANCY SENSOR/MANUAL SWITCH COMBO	STORAGE ROOM	AREA LIGHT FIXTURES	3'-0" A.F.F.
 NEW \$	NEW	MANUAL SWITCH	BEVERAGE PREP AREA AND DOUGH ROOM	AREA LIGHT FIXTURES	3'-0" A.F.F.
 NEW \$ _T	NEW	TIMER SWITCH	BEVERAGE PREP AREA	EXTERIOR SIGNAGE	3'-0" A.F.F.



PROJECT NAME
MOCHIDO

PROJECT #
22TI15

ADDRESS
UNIT 100
1188 PINETREE WAY
COQUITLAM, B.C.
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ARCHITECTURAL SET
REFELECTED CEILING
SPECIFICATIONS

DATE
SEPTEMBER 22, 2022

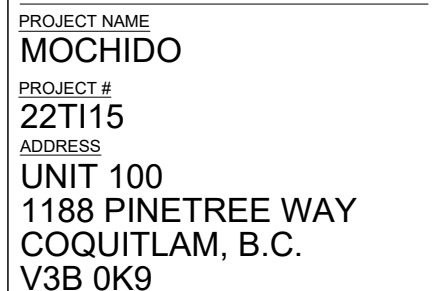
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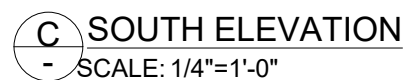


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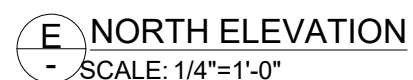
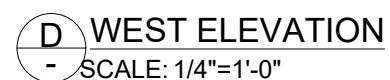
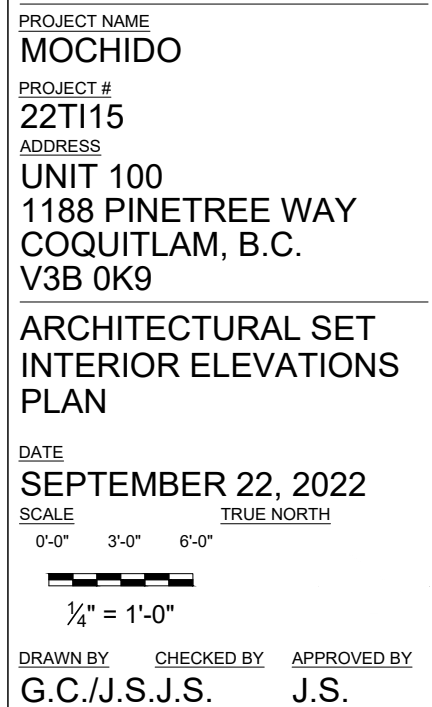
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SCALE: 1/4"=1'-0"



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