

DEMOLITION LEGEND:

INTERIOR PARTITIONS AND OTHER ITEMS TO BE REMOVED/DEMOLISHED ARE SHOWN THUS:

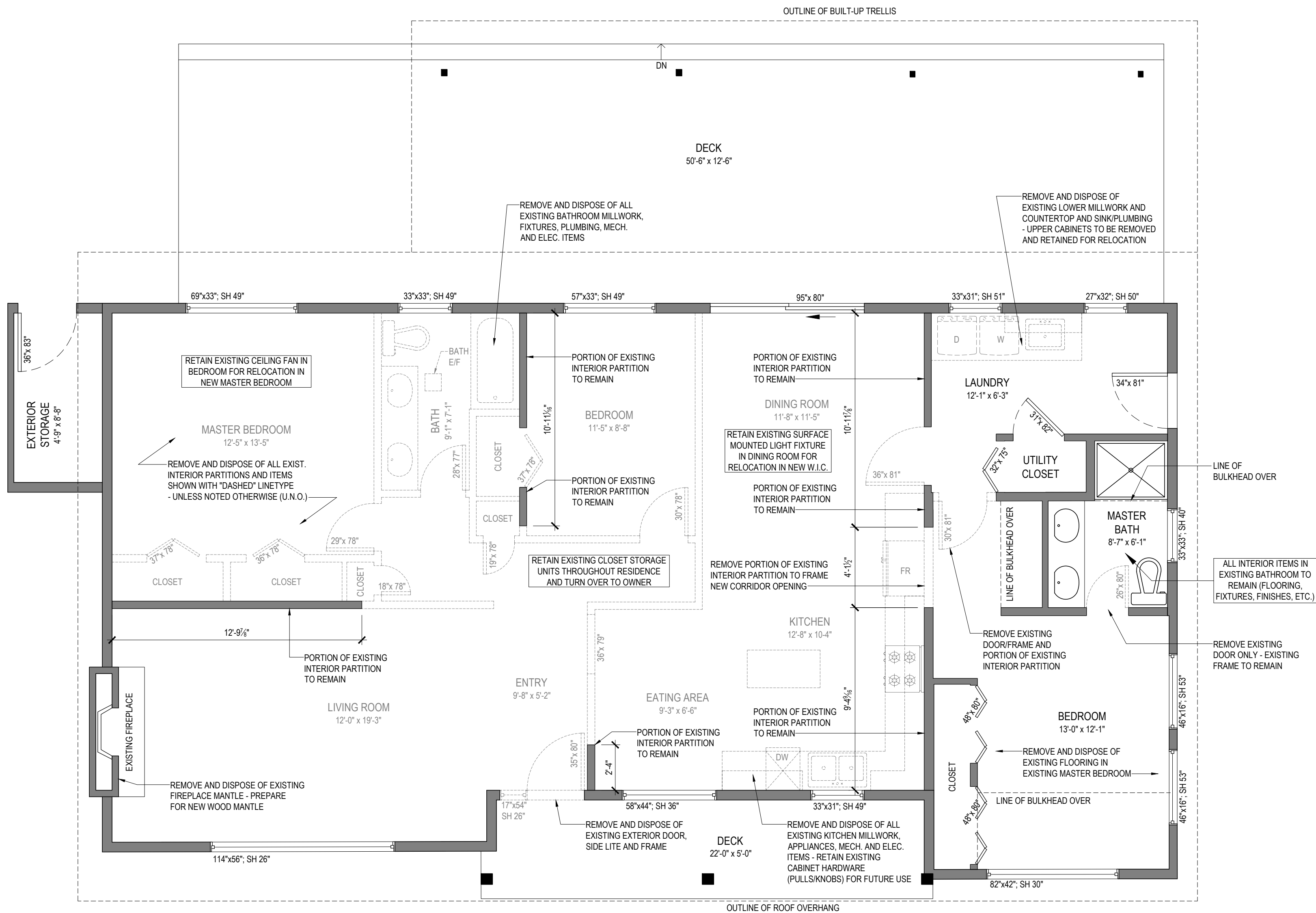


INTERIOR PARTITIONS TO REMAIN ARE SHOWN THUS:

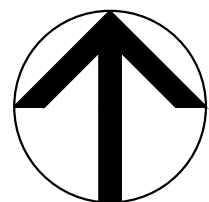


DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTION TO REMAIN IN ACCORDANCE WITH THE DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE OWNER.
3. CONFIRM IF EXISTING PARTITIONS TO BE REMOVED ARE LOAD-BEARING OR OTHERWISE. PROVIDE ADEQUATE TEMPORARY SUPPORT DURING NEW CONSTRUCTION.
4. SITE IS TO BE MAINTAINED IN A SAFE AND ORDERLY MANNER AT ALL TIMES TO WORKSAFE BC AND AUTHORITY HAVING JURISDICTION STANDARDS INCLUDING THE ISOLATION, HANDLING AND DISPOSAL OF ANY HAZARDOUS MATERIALS.
5. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED AND LAWFULLY DISPOSED OF.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY FOR THE DURATION OF THE PROJECT AND IS NOT LIMITED TO WORK HOURS.
7. THE GENERAL CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE, MATERIALS OR RUBBISH CAUSED BY THEIR WORK AND THE WORK OF SUB-CONTRACTORS.
8. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
9. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.



NORTH

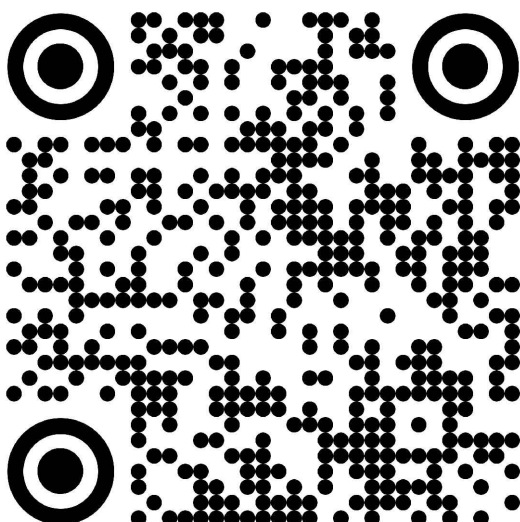


1
A.101 FLOOR PLAN - EXISTING & DEMOLITION
1/4" = 1'-0"

FLOOR AREA: 1,513 sq. ft.
DECK: 632 sq. ft.

SCAN THE QR CODE OR VISIT
THE WEBLINK BELOW TO ACCESS
ALL PROJECT-RELATED FILES

<https://focusedinteriors.com/site/project-page-22-05-02/>



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CONSULTANTS:

VERSIONS / REVISIONS:

R-0 ISSUED FOR CONSTRUCTION 21-JULY-2022

» FOCUSED INTERIORS
interior design + rendering studio

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HARLEY
DRAFTING
& DESIGN

PROJECT:
INTERIOR RENOVATIONS
TO EXISTING RESIDENCE
13041, 14A AVENUE
SURREY, BRITISH COLUMBIA

DWG DESCRIPTION:
FLOOR PLAN
EXISTING & DEMOLITION

SCALE: 1/4" = 1'-0"

DATE: 21 JULY 2022

DRAWN BY: KH

DWG No: A.101
REVISION: 0

ELECTRICAL GENERAL NOTES:

1. PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM IN ACCORDANCE WITH BEST TRADE AND ENGINEERING PRACTICES.
2. MANUFACTURED EQUIPMENT TO BE SUPPLIED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
3. COORDINATE INSTALLATION OF ALL WIRING PENETRATIONS WITH GENERAL CONTRACTOR.
4. COORDINATE LIGHTING FIXTURE AND OUTLET/SWITCH LOCATIONS TO ACCOMMODATE EXISTING STRUCTURE AND AS-BUILT CONDITIONS. REPORT MAJOR VARIANCES AND DISCREPANCIES TO DESIGNER.
5. ALL CONDUCTORS SHALL BE SIZED TO SUIT FIXTURE LOADS AND CODE REQUIREMENTS.
6. PROVIDE BREAKERS AND SUB PANELS AS REQUIRED TO SUIT LAYOUT SHOWN AND TO MAKE CONNECTION TO MECHANICAL AND OWNER SUPPLIED EQUIPMENT.
7. COORDINATE AND PROVIDE FOR ALL REQUIRED ELECTRICAL CONNECTIONS TO MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR.
8. CONFIRM ELECTRICAL SERVICE REQUIREMENTS WITH ELECTRICITY PROVIDER AS REQUIRED.
9. ELECTRICAL CONTRACTOR TO ARRANGE FOR AND PAY COSTS OF ALL REQUIRED PERMITS AND INSPECTIONS.

MECHANICAL GENERAL NOTES:

1. PROVIDE COMPLETE AND OPERATING PLUMBING AND HVAC SYSTEMS IN ACCORDANCE WITH BEST TRADE AND ENGINEERING PRACTICES.
2. MANUFACTURED EQUIPMENT TO BE SUPPLIED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
3. COORDINATE INSTALLATION OF ALL PIPING AND DUCTWORK PENETRATIONS WITH GENERAL CONTRACTOR.
4. ALL PIPING AND DUCTWORK SHALL BE SIZED TO SUIT FIXTURE LOADS AND ROOM REQUIREMENTS.
5. COORDINATE REQUIRED ELECTRICAL CONNECTIONS FOR MECHANICAL EQUIPMENT WITH ELECTRICAL CONTRACTOR.
6. CONFIRM NATURAL GAS SERVICE REQUIREMENTS WITH NATURAL GAS PROVIDER AS REQUIRED.
7. MECHANICAL CONTRACTOR TO ARRANGE FOR AND PAY COSTS OF ALL REQUIRED PERMITS AND INSPECTIONS.

NEW CONSTRUCTION GENERAL NOTES:

1. ALL WORK SHALL CONFORM WITH THE BC BUILDING CODE (LATEST EDITION), REFERENCED CODES AND STANDARDS AND REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
2. SITE IS TO BE MAINTAINED IN A SAFE AND ORDERLY MANNER AT ALL TIMES TO WORKSAFE BC AND AUTHORITY HAVING JURISDICTION STANDARDS INCLUDING THE ISOLATION, HANDLING AND DISPOSAL OF ANY HAZARDOUS MATERIALS.
3. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED AND LAWFULLY DISPOSED OF.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY FOR THE DURATION OF THE PROJECT AND IS NOT LIMITED TO WORK HOURS.
5. THE GENERAL CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE, MATERIALS OR RUBBISH CAUSED BY THEIR WORK AND THE WORK OF SUB-CONTRACTORS.
6. CONTRACTOR SHALL ENSURE THAT ALL FINISH MATERIALS ARE FLUSH WITH ADJACENT SURFACES AND JOINTS, UNLESS NOTED OTHERWISE (U.N.O.)
7. ADEQUATE BLOCKING, BACKING AND/OR OTHER REINFORCEMENT TO BE PROVIDED IN WALL AND FLOOR ASSEMBLIES, AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF HANDRAILS, GUARDRAILS, BATH ROOM ACCESSORIES, ARTWORK, WINDOW TREATMENTS, MILLWORK, FIXTURES, EQUIPMENT AND OTHER ATTACHMENTS.
8. GENERAL CONTRACTOR AND MECHANICAL AND ELECTRICAL CONTRACTORS ARE TO MAINTAIN ACCURATE RECORD DRAWINGS ON-SITE. RECORD ALL DEVIATIONS FROM DIMENSIONS AND CONSTRUCTION SHOWN AND CONFIRM ALL DIMENSIONS (EXISTING AND NEW), CONFIRM MECHANICAL AND ELECTRICAL ITEM LOCATIONS (EXISTING AND NEW).
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND/OR CONSTRUCTION AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.
10. UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW, UNUSED AND OF QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR NATURE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARD OF THE TRADES INVOLVED.
11. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES ON DRAWINGS.
12. CONTRACTOR IS TO VERIFY EXISTING CONDITIONS ON-SITE. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE DESIGNER BEFORE CONSTRUCTION BEGINS.
13. AT COMPLETION OF CONTRACTOR'S WORK AND PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA OF THEIR WORK INSIDE AND OUT USING A PROFESSIONAL CLEANING SERVICE.

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CONSULTANTS:

VERSIONS / REVISIONS:

R-0 ISSUED FOR CONSTRUCTION

21-JULY-2022

Focused Interiors
interior design + rendering studio

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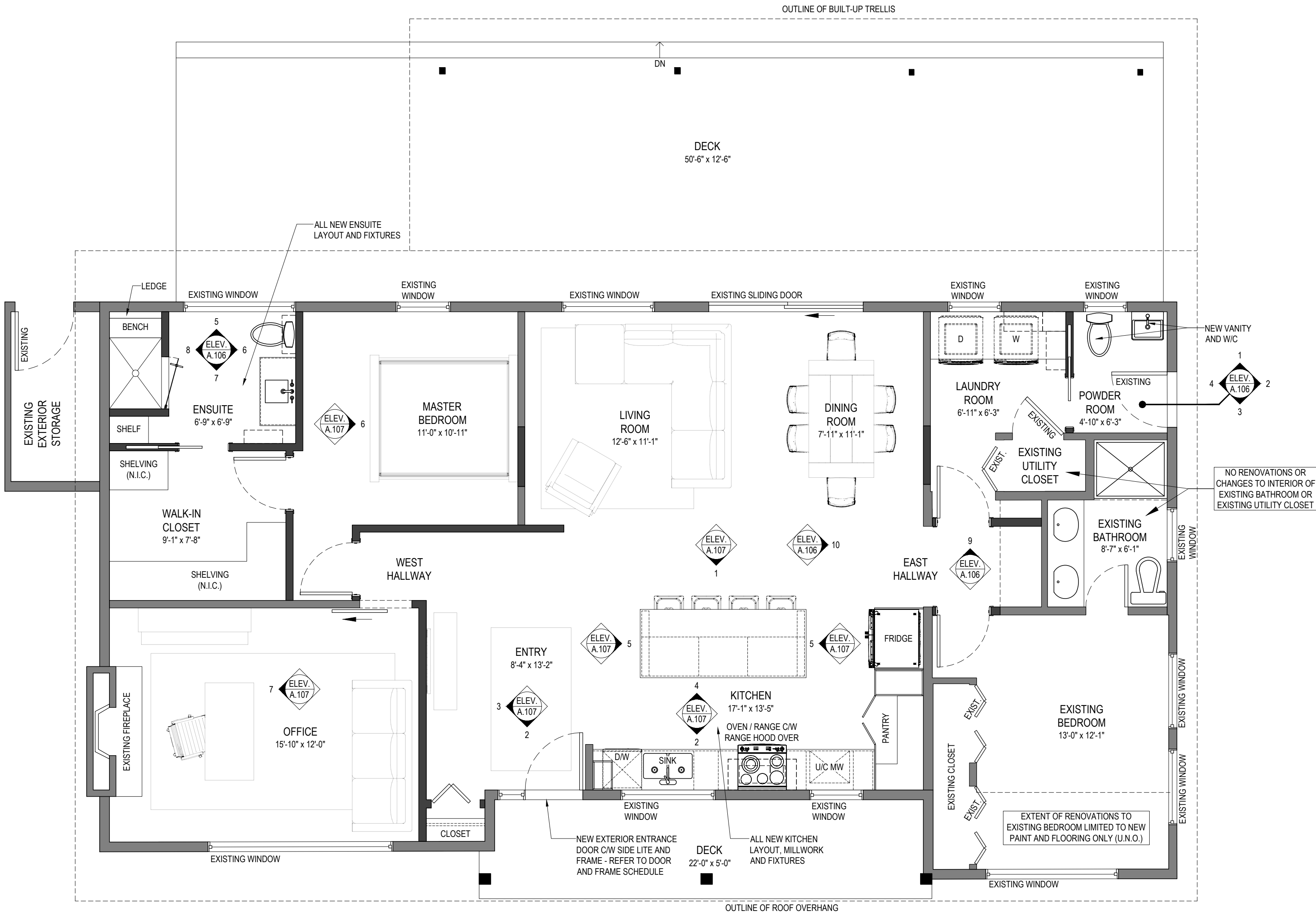
DWG DESCRIPTION:
FLOOR PLAN
NEW CONSTRUCTION
OVERALL LAYOUT

SCALE: 1/4" = 1'-0"

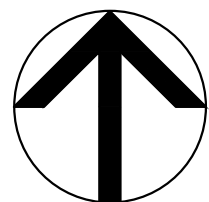
DATE: 21 JULY 2022

DRAWN BY: KH

DWG No: **A.102** REVISION **0**



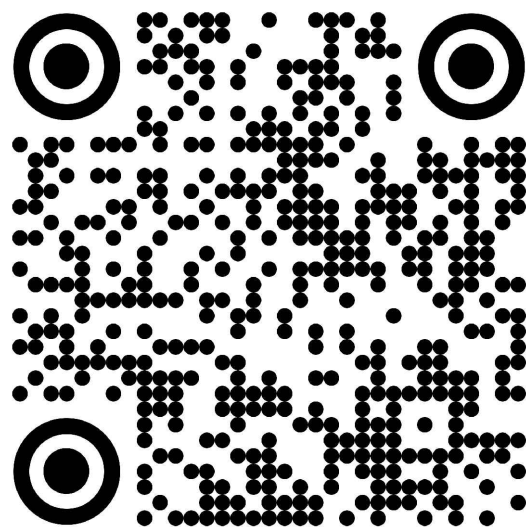
NORTH



1
A.102 **FLOOR PLAN - NEW CONSTRUCTION**
1/4" = 1'-0"
FLOOR AREA: 1,513 sq.ft.
DECK: 632 sq.ft.

SCAN THE QR CODE OR VISIT
THE WEBLINK BELOW TO ACCESS
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<https://focusedinteriors.com/site/project-page-22-05-02/>



WALL CONSTRUCTION LEGEND:

WALL TYPE INDICATOR

1/2" GYPSUM WALL BOARD (PAINTED)

2x4 WOOD STUD FRAMING AT 16" o.c.

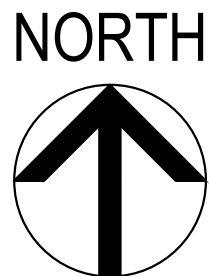
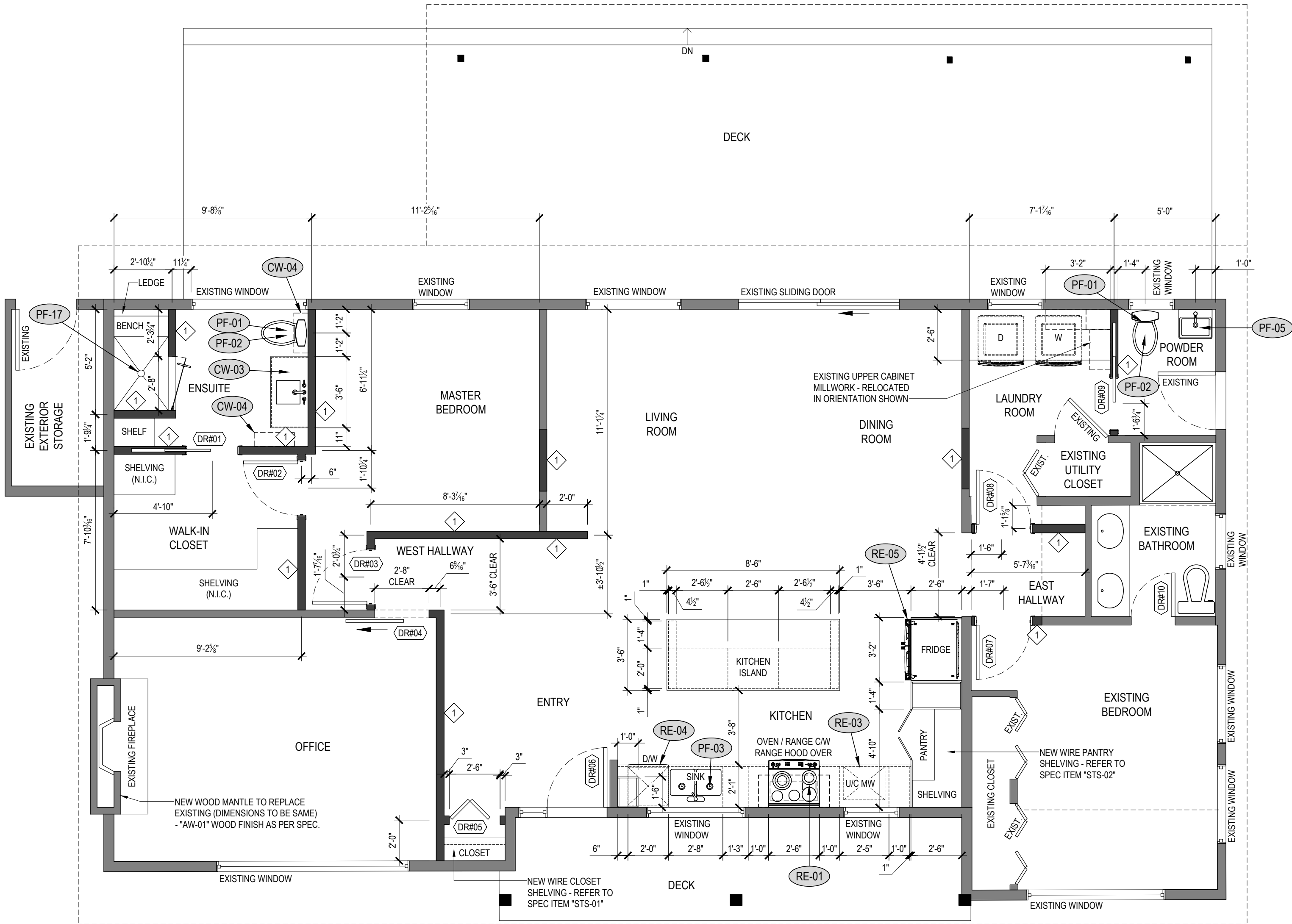
1/2" GYPSUM WALL BOARD (PAINTED)

EXISTING INTERIOR PARTITION SHOWN THUS:

DOOR				FRAME		DOOR/FRAME SPEC. #	HARDWARE SPEC. #	REMARKS
TAG	SIZE (WIDTH x HEIGHT)	MATERIAL	FINISH	MATERIAL	FINISH			
DR#01	2'-6" x 6'-8"	HOLLOW CORE	PAINTED	POCKET		"O-06"	"O-09"	INTERIOR SLIDING POCKET DOOR WITH PRE-MANUFACTURED FRAME AND SLIDING HARDWARE
DR#02	2'-8" x 6'-8"	HOLLOW CORE	PAINTED	WOOD	PAINTED	"O-05"	"O-08"	INTERIOR PRE-HUNG DOOR AND FRAME
DR#03	2'-8" x 6'-8"	HOLLOW CORE	PAINTED	WOOD	PAINTED	"O-05"	"O-08"	INTERIOR PRE-HUNG DOOR AND FRAME
DR#04	2'-10" x 7'-0" (CLEAR OPENING = 2'-8" x 6'-10")	WOOD	PAINTED			"O-03"		SINGLE SLIDING WOOD BARN DOOR C/W SLIDING BARN DOOR HARDWARE
DR#05	2'-1'-3" x 6'-8" (CLEAR OPENING = 2'-6" x 6'-8")	HOLLOW CORE	PAINTED			"O-04"	"AW-09"	BI-FOLD CLOSET DOORS
DR#06	3'-0" x 7'-0" + SIDE LITE	FIBERGLASS	PAINTED	FIBERGLASS	PAINTED	"O-01" & "O-02"	"O-07"	NEW FIBERGLASS EXTERIOR DOOR AND SIDE LITE TO REPLACE EXISTING - CONFIRM REQUIRED DIMENSIONS ON SITE
DR#07	2'-8" x 6'-8"	HOLLOW CORE	PAINTED	WOOD	PAINTED	"O-05"	"O-08"	INTERIOR PRE-HUNG DOOR AND FRAME
DR#08	2'-8" x 6'-8"	HOLLOW CORE	PAINTED	WOOD	PAINTED	"O-05"	"O-08"	INTERIOR PRE-HUNG DOOR AND FRAME
DR#09	2'-6" x 6'-8"	HOLLOW CORE	PAINTED	POCKET		"O-06"	"O-09"	INTERIOR SLIDING POCKET DOOR WITH PRE-MANUFACTURED FRAME AND SLIDING HARDWARE
DR#10	2'-2" x 6'-8" (MATCH EXIST. FRAME)	HOLLOW CORE	PAINTED	WOOD	PAINTED	"O-05"	"O-08"	NEW INTERIOR DOOR IN EXISTING FRAME

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1 FLOOR PLAN - DIMENSIONS AND DETAILS
1/4" = 1'-0"

FLOOR AREA: 1,513 sq.ft.
DECK: 632 sq.ft.

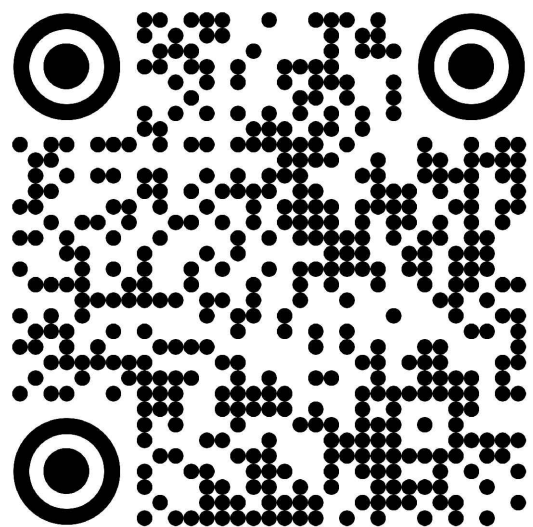
SPECIFICATION TAG LEGEND:

- ## SPECIFICATION TAG / CODE

REFER TO MASTER FORMAT - FORMAL
SPECIFICATION - P-22-05-02 [PAUL + LISA]

SCAN THE QR CODE OR VISIT
THE WEBLINK BELOW TO ACCESS
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PROJECT:
INTERIOR RENOVATIONS
TO EXISTING RESIDENCE
13041, 14A AVENUE
SURREY, BRITISH COLUMBIA

DWG DESCRIPTION:
FLOOR PLAN
NEW CONSTRUCTION
DIMENSIONS AND NOTES

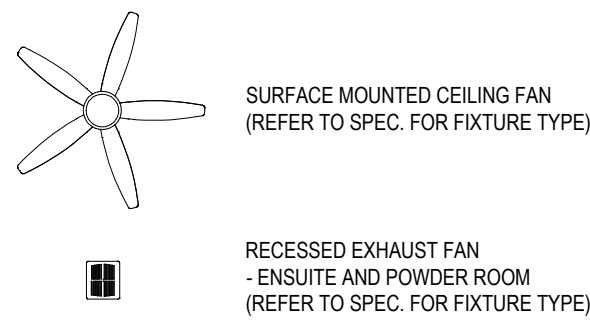
SCALE: 1/4" = 1'-0"

DATE: 21 JULY 2022

DRAWN BY: KH

DWG No: A.103
REVISION: 0

REFLECTED CEILING PLAN LEGEND:



SURFACE MOUNTED CEILING FAN
- REFER TO SPEC. FOR FIXTURE TYPE

RECESSED EXHAUST FAN
- ENSUITE AND POWDER ROOM
- REFER TO SPEC. FOR FIXTURE TYPE

SUSPENDED LIGHT FIXTURE
- FOYER
- REFER TO SPEC. FOR FIXTURE TYPE

SURFACE MOUNTED PENDANT LIGHT FIXTURE
- DINING ROOM
- REFER TO SPEC. FOR FIXTURE TYPE

SUSPENDED PENDANT LIGHT FIXTURE
- KITCHEN ISLAND
- REFER TO SPEC. FOR FIXTURE TYPE

SURFACE MOUNTED LIGHT FIXTURE
- WALK-IN CLOSET
- REFER TO SPEC. FOR FIXTURE TYPE

WALL SCONCE LIGHT FIXTURE
- ENSUITE AND POWDER ROOM
- REFER TO SPEC. FOR FIXTURE TYPE

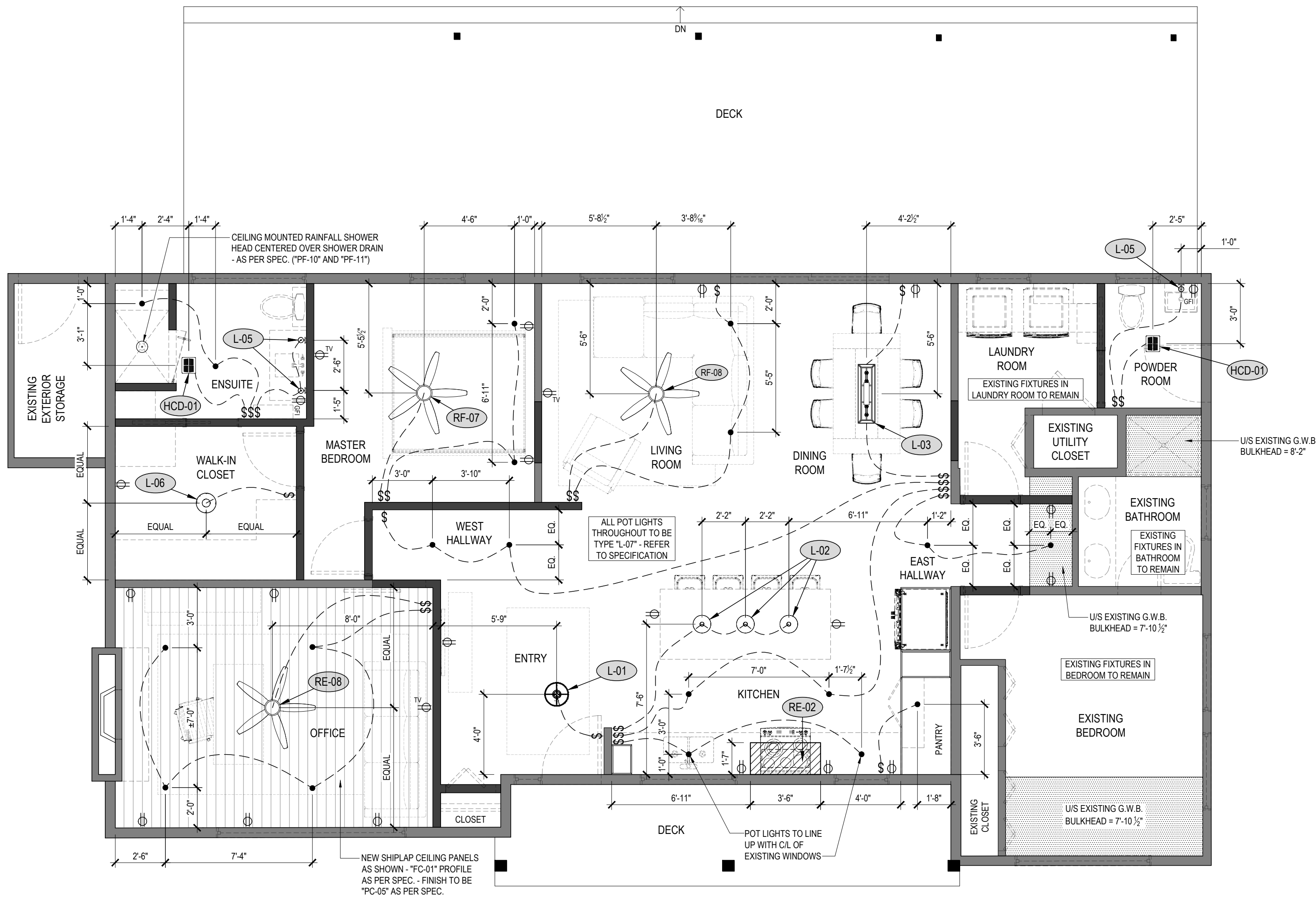
RECESSED POT LIGHT FIXTURE
- REFER TO SPEC. FOR FIXTURE TYPE

LIGHT SWITCH - CONFIRM FUNCTION
(SINGLE POLE VS. 3-WAY) ON SITE WITH DESIGNER
AND OWNER PRIOR TO ROUGH-IN STAGE

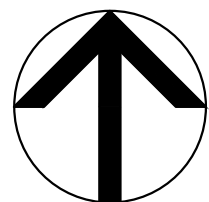
PROPOSED NEW ELEC. OUTLET
(EXISTING OUTLETS NOT SHOWN)
- CONFIRM LOCATIONS ON SITE WITH DESIGNER
AND OWNER PRIOR TO ROUGH-IN STAGE

NEW GROUND FAULT INTERRUPTER TYPE ELEC. OUTLET

RECESSED TV/AV RECEPTACLE BOX C/W NEW ELEC.
OUTLETS HIGH AND LOW - CONFIRM HEIGHTS ON SITE



NORTH



1
A.103 FLOOR PLAN - REFLECTED CEILING
1/4" = 1'-0"
FLOOR AREA: 1,513 sq. ft.
DECK: 632 sq. ft.

UNDERSIDE OF EXISTING G.W.B.
CEILING THROUGHOUT EXISTING
RESIDENCE IS 8'-0" A.F.F. UNLESS
NOTED OTHERWISE (U.N.O.)

REFLECTED CEILING GENERAL NOTES:

- ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS RELATING TO WORK AND NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE COMMENCEMENT OF CONSTRUCTION.
- ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL ALL SWITCHES, OUTLETS, AND DATA/TELEPHONE OUTLETS. REFER TO DESIGN SPECIFICATION FOR FIXTURE SPECIFICATIONS.
- ALL ELECTRICAL FIXTURES AND INSTALLATION TO BE IN ACCORDANCE WITH LATEST EDITIONS OF APPLICABLE ELECTRICAL CODES.
- ELECTRICAL CONTRACTOR TO REFER TO APPLIANCE SPECIFICATIONS FOR EXACT RECEPTACLE OUTLETS REQUIREMENT AND LOCATIONS.
- ALL POWER, DATA, TELEPHONE OUTLETS TO BE GANGED ON ONE STUD OR HORIZONTAL BAR WHEN THEY ARE INDICATED IN CLOSE PROXIMITY. STAGGER GANGED OUTLETS TO PREVENT SOUND TRANSFER. USE COMBINED FACE PLATES WHERE POSSIBLE.
- ELECTRICAL CONTRACTOR TO COORDINATE FIXTURE, SWITCH, AND RECEPTACLE LOCATIONS ON SITE WITH RESPECT TO LOCATION OF EXISTING FIXTURES, SWITCHES, AND RECEPTACLES TO REMAIN.
- WALK-THROUGH TO BE CONDUCTED WITH DESIGNER AT ROUGH-IN STAGE WITH BOXES INSTALLED, BUT PRIOR TO PULLING ANY WIRE IN ORDER TO CONFIRM LOCATIONS OF ELECTRICAL SWITCHES, RECEPTACLES AND FIXTURES.
- ALL RECEPTACLES, SWITCHES AND COVER PLATES TO MATCH FINISH ON WHICH THEY ARE INSTALLED, UNLESS NOTED OTHERWISE IN DESIGN SPECIFICATION.
- RECEPTACLES ABOVE KITCHEN COUNTER TO BE AT 42" A.F.F. TO CENTER OF COVER PLATE, U.N.O. CENTER HORIZONTALLY ON DEPTH OF COUNTER WHERE LOCATED AT SIDES OR AS INDICATED ON DRAWINGS.
- SWITCHES AND RECEPTACLES LOCATED ON KICKS, REVEALS, BACKSPLASHES, TILE, MILLWORK, ETC. TO BE CENTERED ON CORRESPONDING LOCATION, U.N.O. COORDINATE WITH DESIGNER AS REQUIRED.
- ALL LIGHTING LAMP COLOR TEMPERATURES TO BE CONSISTENT AT ALL FIXTURES U.N.O.
- RECEPTACLE OUTLETS TO REMAIN IN EXISTING LOCATION IF POSSIBLE. ELECTRICAL CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS RELATING TO WORK AND NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE COMMENCEMENT OF CONSTRUCTION.

ELECTRICAL GENERAL NOTES:

- PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM IN ACCORDANCE WITH BEST TRADE AND ENGINEERING PRACTICES.
- MANUFACTURED EQUIPMENT TO BE SUPPLIED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
- COORDINATE INSTALLATION OF ALL WIRING PENETRATIONS WITH GENERAL CONTRACTOR.
- COORDINATE LIGHTING FIXTURE AND OUTLET/SWITCH LOCATIONS TO ACCOMMODATE EXISTING STRUCTURE AND AS-BUILT CONDITIONS. REPORT MAJOR VARIANCES AND DISCREPANCIES TO DESIGNER.
- ALL CONDUCTORS SHALL BE SIZED TO SUIT FIXTURE LOADS AND CODE REQUIREMENTS.
- PROVIDE BREAKERS AND SUB PANELS AS REQUIRED TO SUIT LAYOUT SHOWN AND TO MAKE CONNECTION TO MECHANICAL AND OWNER SUPPLIED EQUIPMENT.
- COORDINATE AND PROVIDE FOR ALL REQUIRED ELECTRICAL CONNECTIONS TO MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR.
- CONFIRM ELECTRICAL SERVICE REQUIREMENTS WITH ELECTRICITY PROVIDER AS REQUIRED.
- ELECTRICAL CONTRACTOR TO ARRANGE FOR AND PAY COSTS OF ALL REQUIRED PERMITS AND INSPECTIONS.

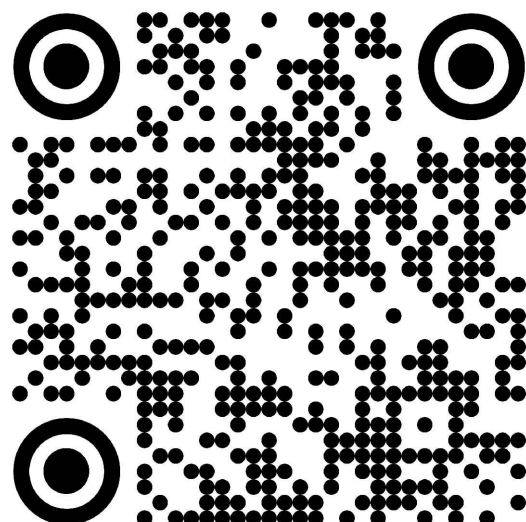
SPECIFICATION TAG LEGEND:

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SPECIFICATION - P-22-05-02 [PAUL + LISA]

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CONSULTANTS:

VERSIONS / REVISIONS:

R-0 ISSUED FOR CONSTRUCTION 21-JULY-2022

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HARLEY
DRAFTING
& DESIGN

PROJECT:
INTERIOR RENOVATIONS
TO EXISTING RESIDENCE
13041, 14A AVENUE
SURREY, BRITISH COLUMBIA

DWG DESCRIPTION:
FLOOR PLAN
REFLECTED CEILING

SCALE: 1/4" = 1'-0"

DATE: 21 JULY 2022

DRAWN BY: KH

DWG No: A.104 REVISION

0

FLOOR FINISH LEGEND:

- CERAMIC FLOOR TILE
REFER TO SPEC. ITEM "T-03"
- CERAMIC FLOOR TILE
REFER TO SPEC. ITEM "T-04"
- LUXURY VINYL PLANK
REFER TO SPEC. ITEM "FL-01"

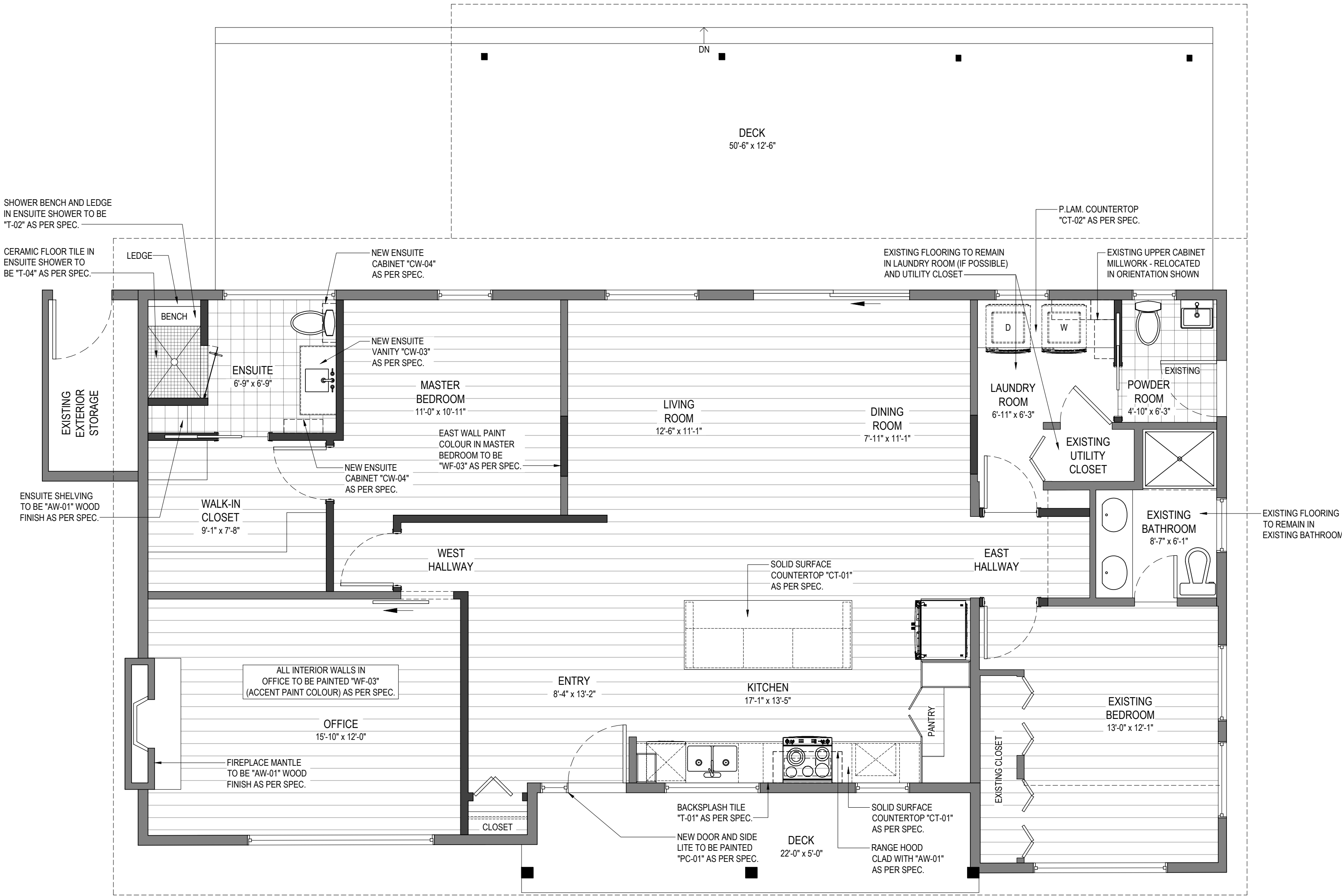
FINISHES NOTES:

- ALL NEW GYPSUM WALLBOARD TO BE PRIMED ACCORDINGLY FOR PAINTED WALL FINISH
- APPLY ADDITIONAL COAT(S) OF PAINT AS REQUIRED.
- GENERAL CONTRACTOR TO FOLLOW FLOORING MANUFACTURER INSTALLATION GUIDELINES AND PROCEDURES.
- ALL TRIM TO BE PAINTED AS PER SPECIFICATION DOCUMENT UNLESS NOTED OTHERWISE.
- ALL WALLS TO BE PAINTED "WF-01" AS PER SPECIFICATION DOCUMENT UNLESS NOTED OTHERWISE.
- ALL "WET AREA" WALLS (ENSUITE AND POWDER ROOM) TO BE PAINTED "WF-02" AS PER SPECIFICATION DOCUMENT UNLESS NOTED OTHERWISE.
- ALL CEILINGS TO BE PAINTED "PC-05" AS PER SPECIFICATION DOCUMENT UNLESS NOTED OTHERWISE. CEILING TO BE FINISHED SMOOTH.
- ALL "WET AREA" CEILINGS (ENSUITE AND POWDER ROOM) TO BE PAINTED "PC-06" AS PER SPECIFICATION DOCUMENT UNLESS NOTED OTHERWISE. CEILING TO BE FINISHED SMOOTH.
- REFER TO ELEVATION DRAWINGS FOR FINISH DETAILS.
- ALL INTERIOR FINISH CARPENTRY (DOOR & WINDOW CASING, DOORS, AND BASEBOARDS) TO BE PAINTED AS PER SPECIFICATION DOCUMENT.
- ALL MILLWORK FINISHES AND HARDWARE AS PER INTERIOR ELEVATIONS AND SPECIFICATION DOCUMENT.
- WORKMANSHIP AND MATERIALS MUST CONFORM TO THE SPECIFICATION STANDARDS MANUAL AS PUBLISHED BY THE NATIONAL FLOOR COVERING ASSOCIATION, LATEST EDITION, CANADIAN GENERAL STANDARDS BOARD (CGSB), AND THE BC FLOOR COVERING ASSOCIATION (BCFA).
- PROVIDE SAMPLES OF ALL FLOORING, ACCESSORIES AND SEAM LAYOUT TO DESIGNER FOR REVIEW PRIOR TO INSTALLATION.
- SUBFLOOR CRACKS, HOLES AND FLOORING IRREGULARITIES MUST BE ADEQUATELY REPAIRED TO ENSURE A SMOOTH, FINISHED APPEARANCE AND TO PREVENT ACCELERATED WEAR.
- FLOOR FINISHES TO TERMINATE BELOW DOORS. FLOORING TO BE FLUSH AT TRANSITIONS, UNLESS INDICATED OTHERWISE.
- PROVIDE A MINIMUM OF 5% PERCENT OF EACH FLOOR FINISH SUPPLIED, FOR THE OWNER'S LATER USE OR MAINTENANCE. NEATLY PACKAGE, MARK AND LEAVE ON SITE.
- MATERIALS, CONDITIONS, SURFACE PREPARATION OF SUBSTRATES, WORKMANSHIP, QUALITY CONTROL, PROTECTION AND CLEAN-UP SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF MASTER PAINTERS INSTITUTE ARCHITECTURAL PAINTING SPECIFICATION MANUAL, UNLESS OTHERWISE NOTED. ALL PAINTING OR STAINING WORK SHALL BE IN ACCORDANCE WITH MPI PREMIUM GRADE FINISH REQUIREMENTS. MATERIALS TO BE IN ACCORDANCE WITH MPI APPROVE PRODUCT LISTING.
- DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ALL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER SUBTRADE WORK) ARE ACCEPTABLE FOR APPLICATIONS OF PRODUCTS. DO NOT PERFORM PAINTING WORK WHEN THE AIR AND SUBSTRATE TEMPERATURES, RELATIVE HUMIDITY, DEW POINT AND/OR SUBSTRATE MOISTURE CONTENT IS BELOW OR ABOVE REQUIREMENTS FOR BOTH INTERIOR AND EXTERIOR WORK. COMMENCEMENT OF PAINT PREPARATION WORK IMPLIES ACCEPTANCE OF SUBSTRATE CONDITION BY THE PAINTER.
- ALL FLOORING TO BE AS PER "FLOOR FINISH LEGEND" UNLESS OTHERWISE NOTED.

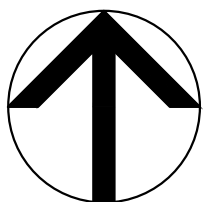
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NORTH



1
A.104 FLOOR PLAN - FINISHES PLAN
1/4" = 1'-0"
FLOOR AREA: 1,513 sq. ft.
DECK: 632 sq. ft.

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HARLEY
DRAFTING
& DESIGN

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INTERIOR RENOVATIONS
TO EXISTING RESIDENCE
13041, 14A AVENUE
SURREY, BRITISH COLUMBIA

DWG DESCRIPTION:
FLOOR PLAN
INTERIOR FINISHES

SCALE: 1/4" = 1'-0"

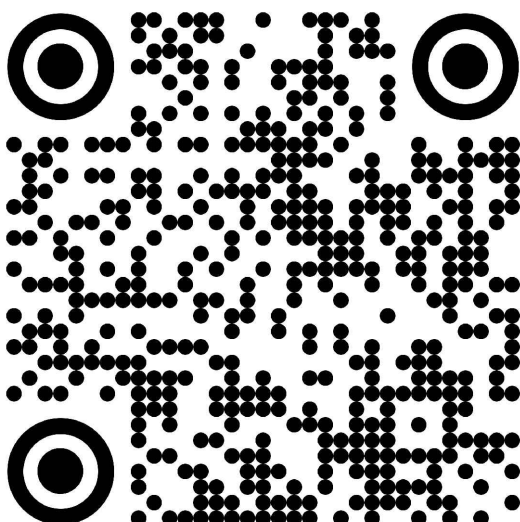
DATE: 21 JULY 2022

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DWG No: A.105
REVISION: 0

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HARLEY DRAFTING & DESIGN

PROJECT:

INTERIOR RENOVATIONS
TO EXISTING RESIDENCE
13041, 14A AVENUE
SURREY, BRITISH COLUMBIA

DWG DESCRIPTION:

INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

DATE: 21 JULY 2022

DRAWN BY: KH

DWG No:

REVISION

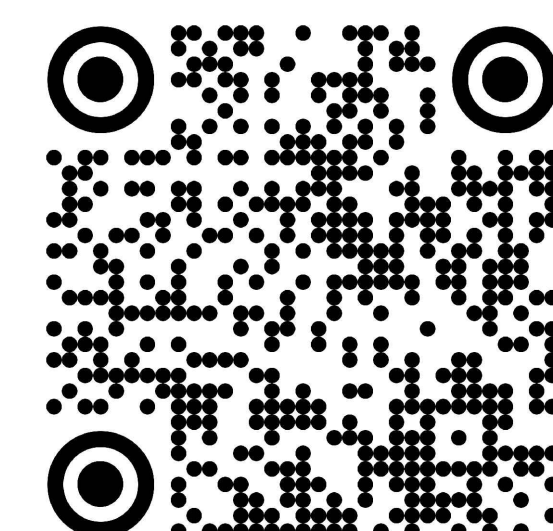
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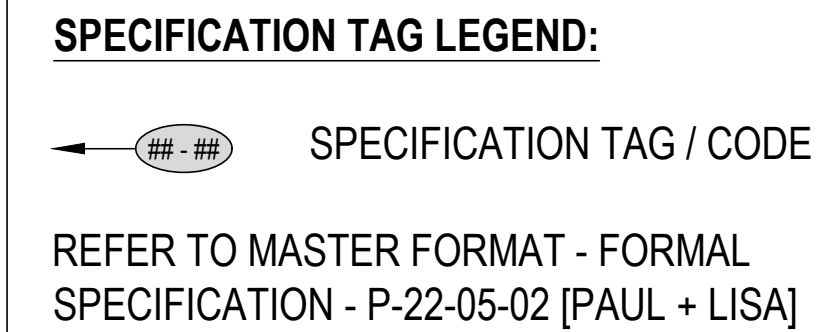
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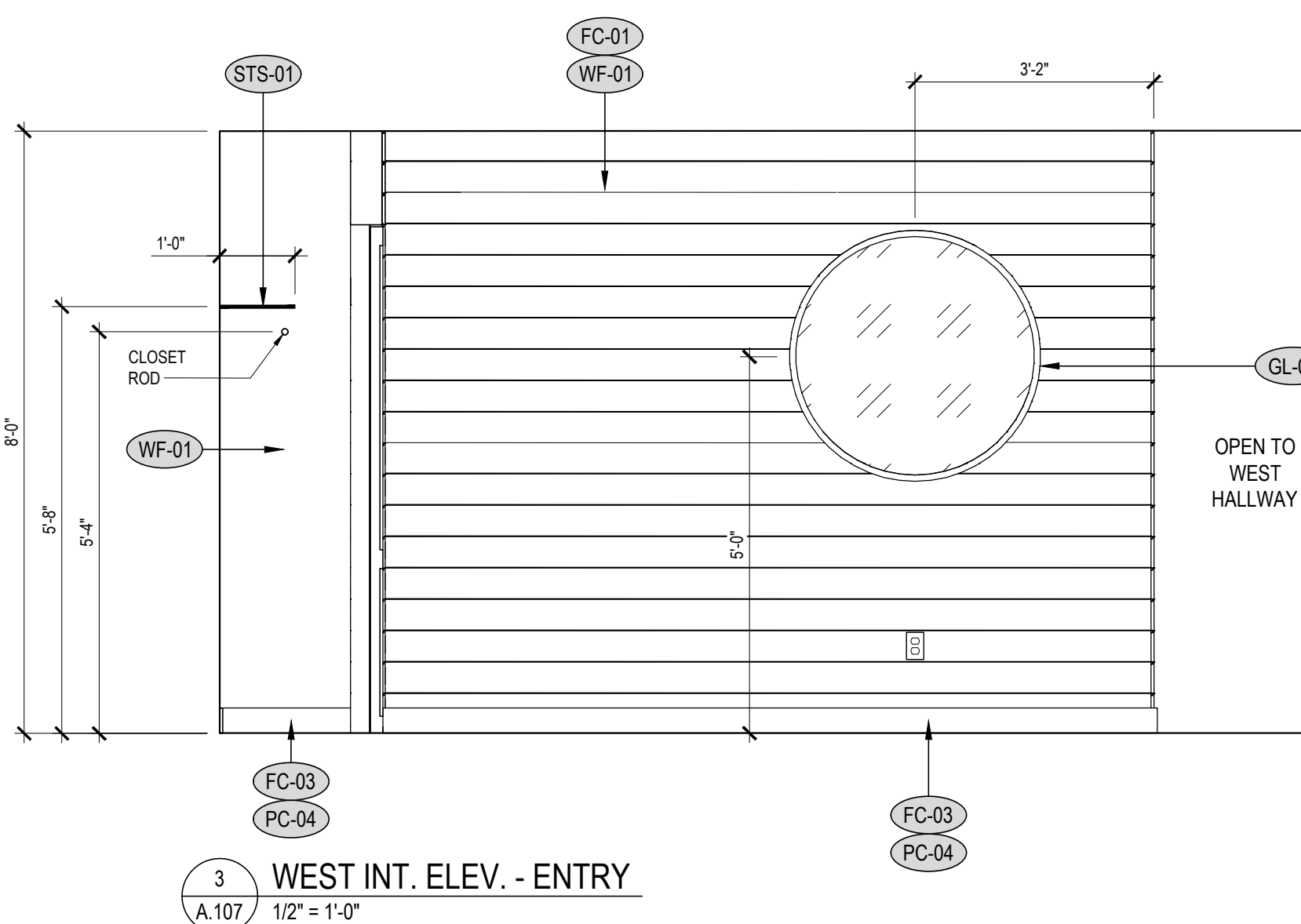
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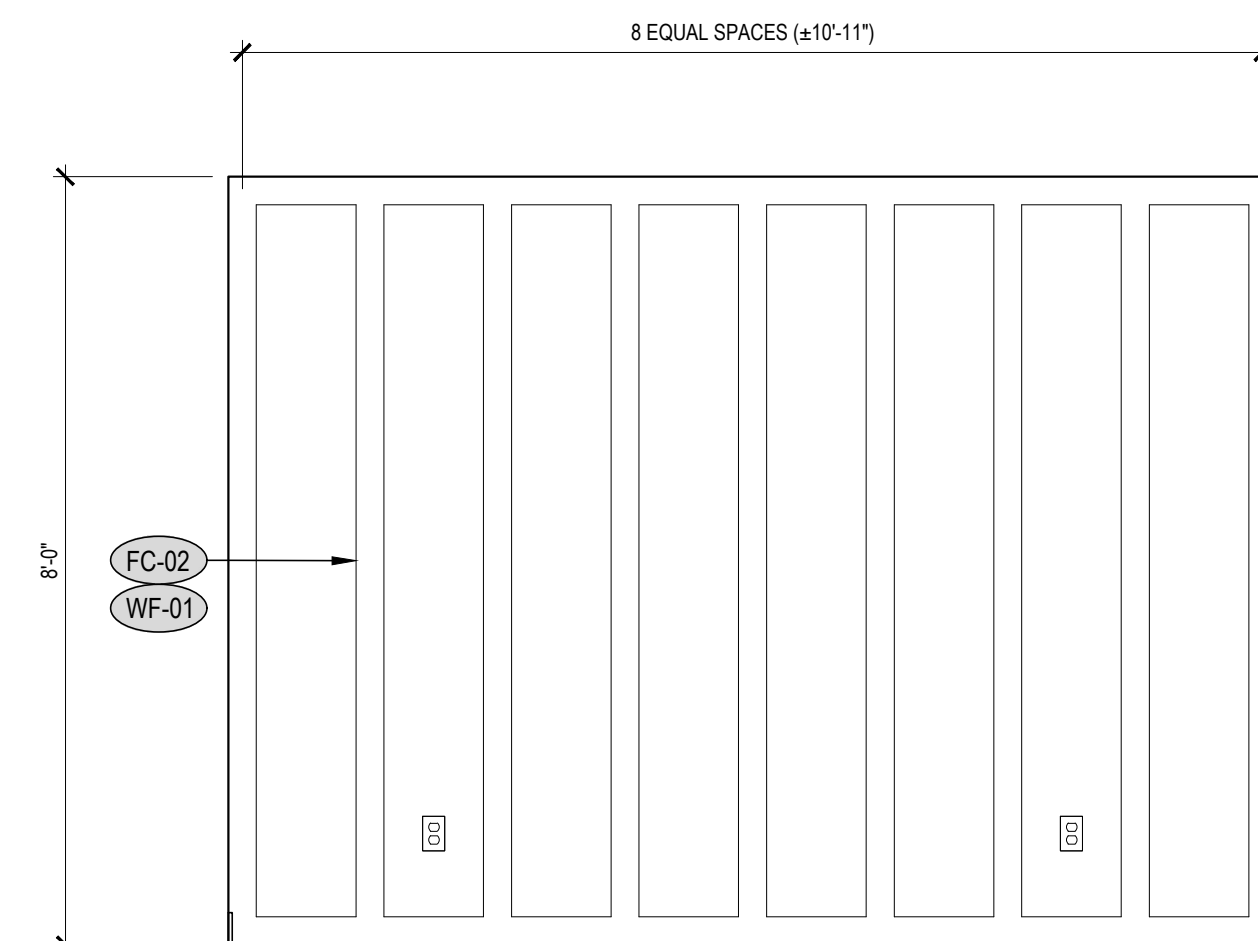




1 SOUTH INT. ELEV. - KITCHEN ISLAND, ENTRY, AND HALLWAYS
A.107 1/2" = 1'-0"

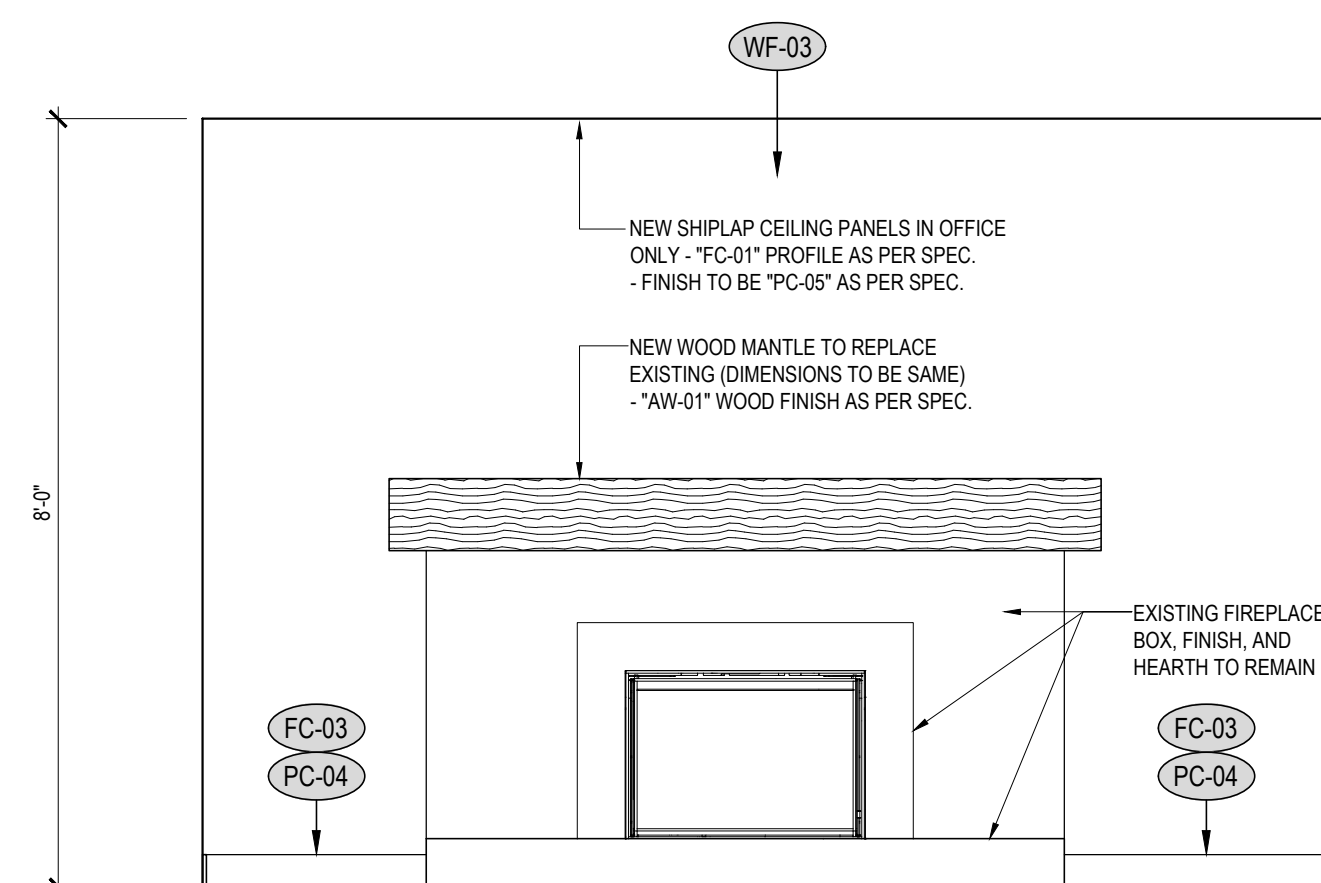


3 WEST INT. ELEV. - ENTRY
A.107 1/2" = 1'-0"



4 NORTH INT. ELEV. - KITCHEN ISLAND
A.107 1/2" = 1'-0"

6 EAST INT. ELEV. - MASTER BEDROOM
A.107 1/2" = 1'-0"



5 EAST/WEST INT. ELEV. - KITCHEN ISLAND
A.107 1/2" = 1'-0"

7 WEST INT. ELEV. - OFFICE
A.107 1/2" = 1'-0"

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DWG No:	REVISION
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A.107	0
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