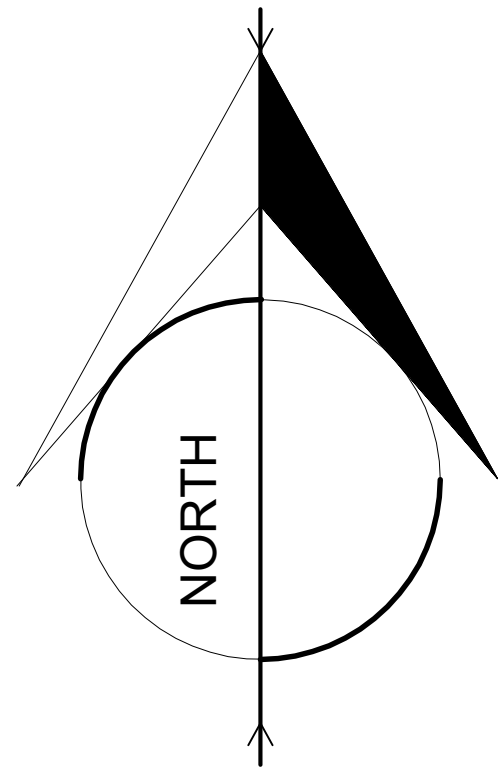
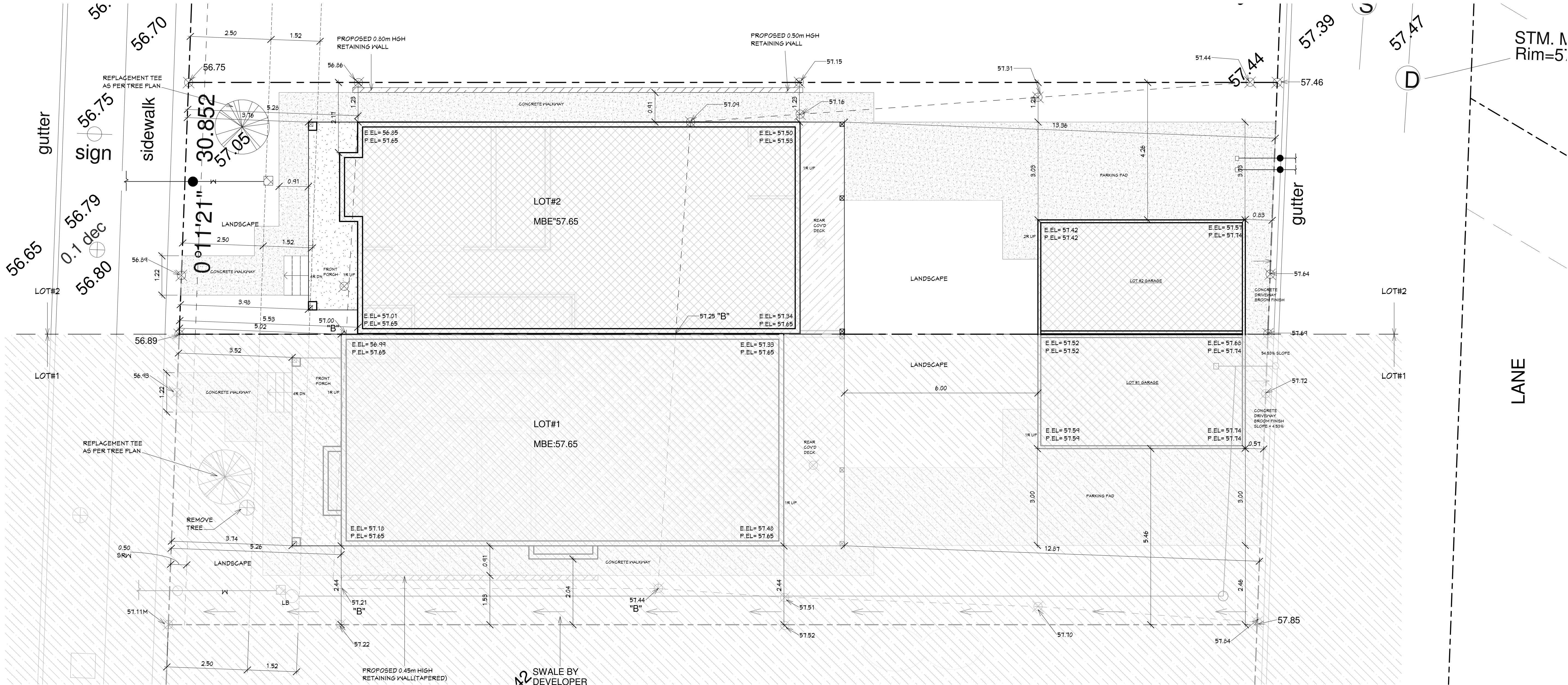




184th STREET



1 SITE PLAN
3/16" = 1'-0"

LANDSCAPE NOTES:
- MIN. 12 SHRUBS
- MIN. SIZE 5 GAL. POT
- MIN. 10 ANNUALS
- PLUS REPLACEMENT TREES AS PER TREE PLAN

RETAINING WALL NOTES:
- FRONT YARD ALLEN BLOCK EXPOSED AGGREGATE ONLY
- ALL RETINING WALLS TO BE SETBACK MIN. 1.0m AWAY FROM PL.

DRIVEWAY NOTES:
- EXPOSED AGGREGATE FINISH,
PAVERS, STAMPED CONCRETE.
- FRONT, SIDEWALK TO MATCH

FENCE ARE REQUIRED.

FENCE IS REQUIRED

LANDSCAPE NOTES:

FORNT YARD:
- MIN. 12 SHRUBS
- MIN. SIZE 5 GALLON POTS
- MIN. 10 ANNUAL IN A 10# PLATING BED
- PLUS REPLACEMENT TREES AS PER APPROVED TREE PLAN

RETAINING WALL NOTES:
- IN FRONT YARD ALLEN BLOCKS OR EXPOSED AGGREGATE ONLY
- ALL RETAINING WALLS TO BE SETBAG A MIN. 1m AWAY FROM ALL PROPERTY LINES.

DRIVEWAY NOTES:
- EXPOSED AGGREGATE OR PAVERS OR STAMPED CONCRETE.
- FRONT SIDEWALK TO MATCH.

LOT #2
ELEVATIONS IN METERS:
ROOF RIDGE= 65.99
MEAN HEIGHT= 65.05
ROOFLINE= 64.10
TOP FLOOR= 61.33
MAINFLOOR= 57.91
AVERAGE GRADE= 57.09
MBE= 57.65
GARGE REAR = 57.82
GARAGE FRONT = 57.75

ZONE - RFSD

F.A.R:
ALLOWED = 1950 sf
PROPOSED = 1891.25 sf

SITE COVERAGE:
ALLOWED @60%= 1700 sf
PROPOSED= 1367 sf

6876 184st

LOT 2 SECTION 16 TOWNSHIP 8
NEW WESTMINSTER DISTRICT
PLAN EPP 124241

LOT AREA= 2833.3 sf (263.22m2)

PID:031-958-095

APEX DESIGN GROUP INC.
Address: 8203-8464-128th Street, Surrey, BC V3W 4G3
Office: (604) 543-6281 Fax: (604) 543-8248

THESE PLANS CONFORM WITH THE BUILDING
SCHEME REGISTERED IN THE LAND TITLE OFFICE

Signature: *[Signature]* Date: OCT 18, 2023
Initials: *[Initials]* Date: OCT 18, 2023

EXTENT OF CONSULTANTS REVIEW: Plans are reviewed
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PLANS ARE NOT REVIEWED FOR: Conformance with the
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Registered Building Scheme. *S. KAILA*

DWG NO:

A1

SHEET TITLE:

SITEPLAN

PROJECT:

Shamjit
Kaila

LOT 2 ,
6876
184st

SCALE:

3/16" = 1'-0"

DATE:

Aug 24/
2023

DWN BY:

6.5

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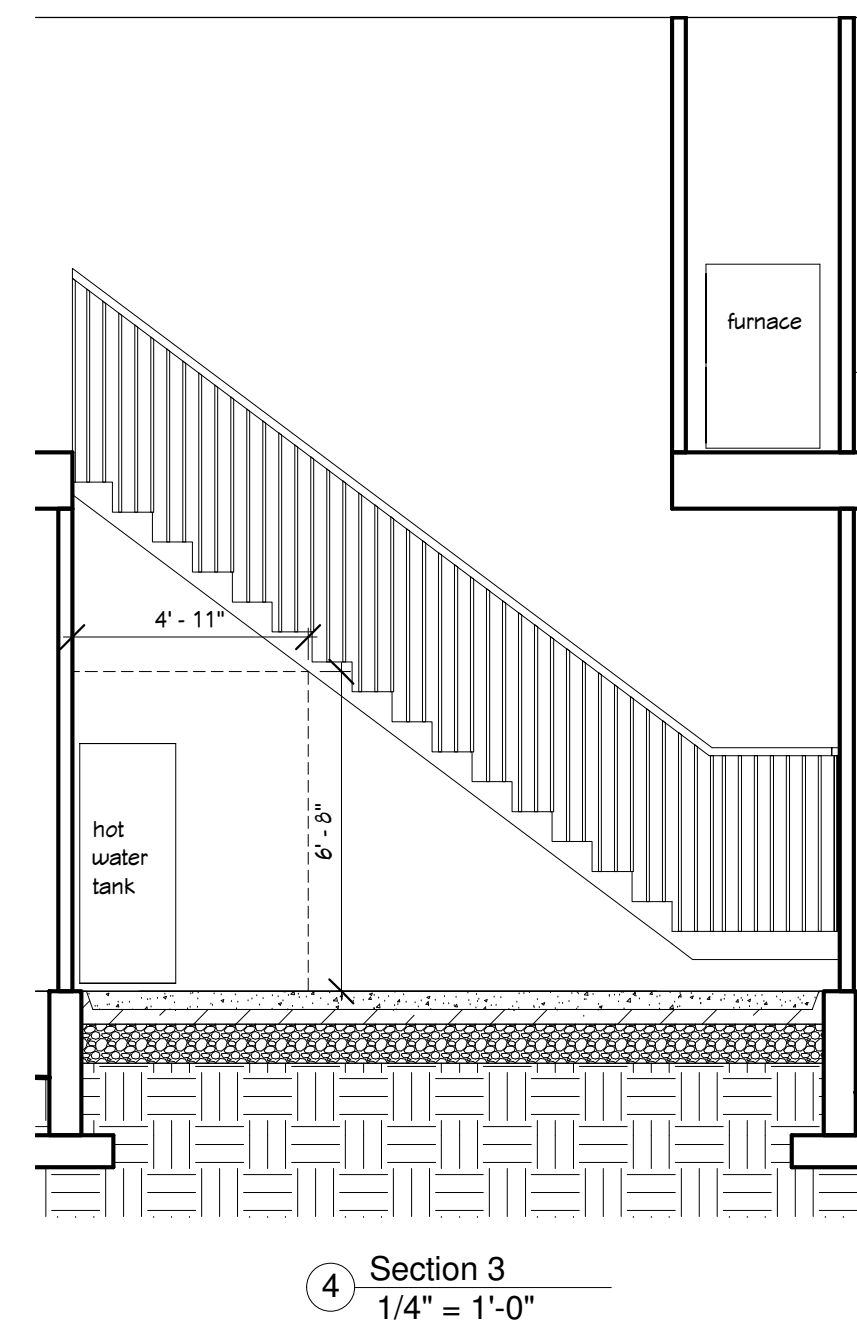
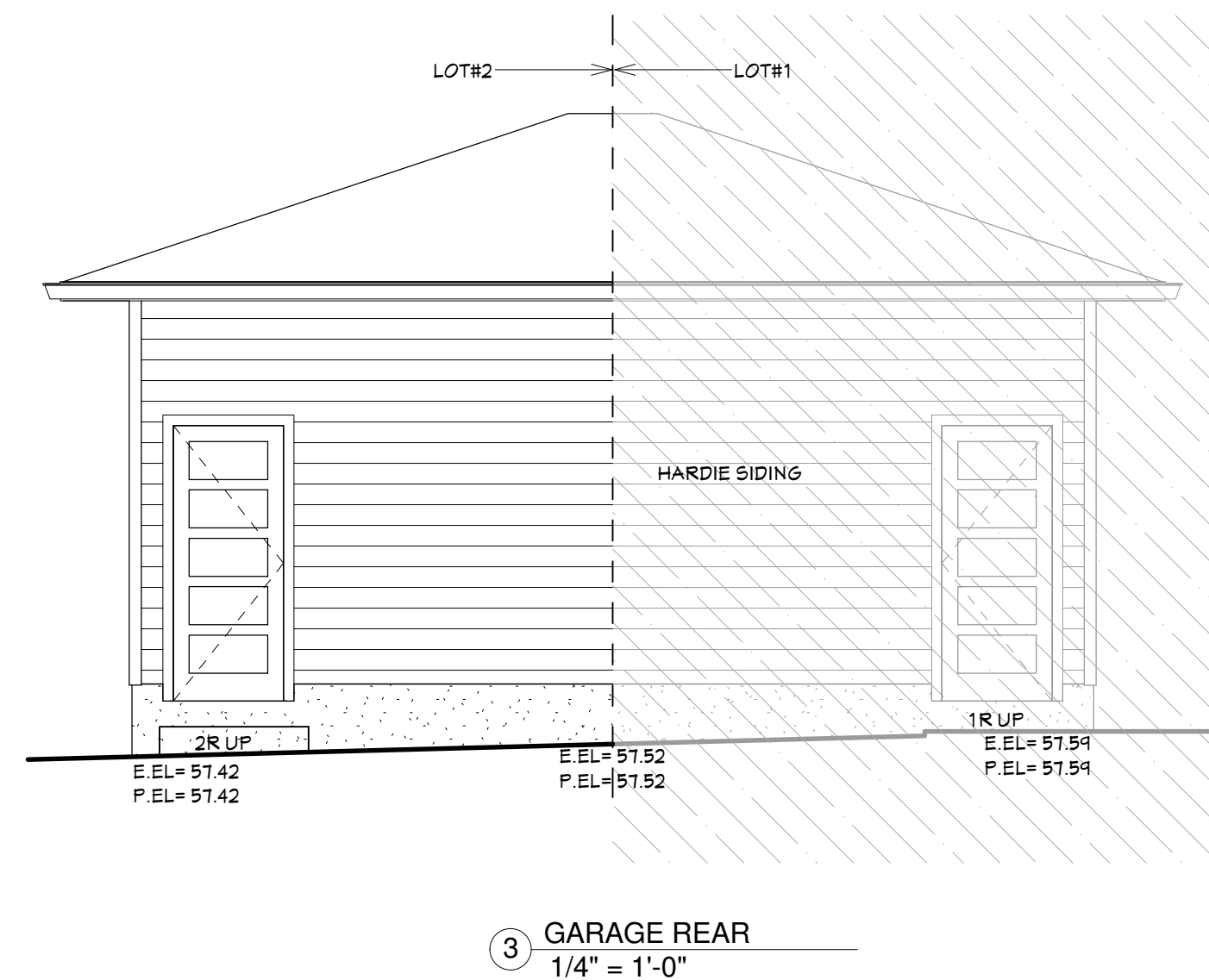
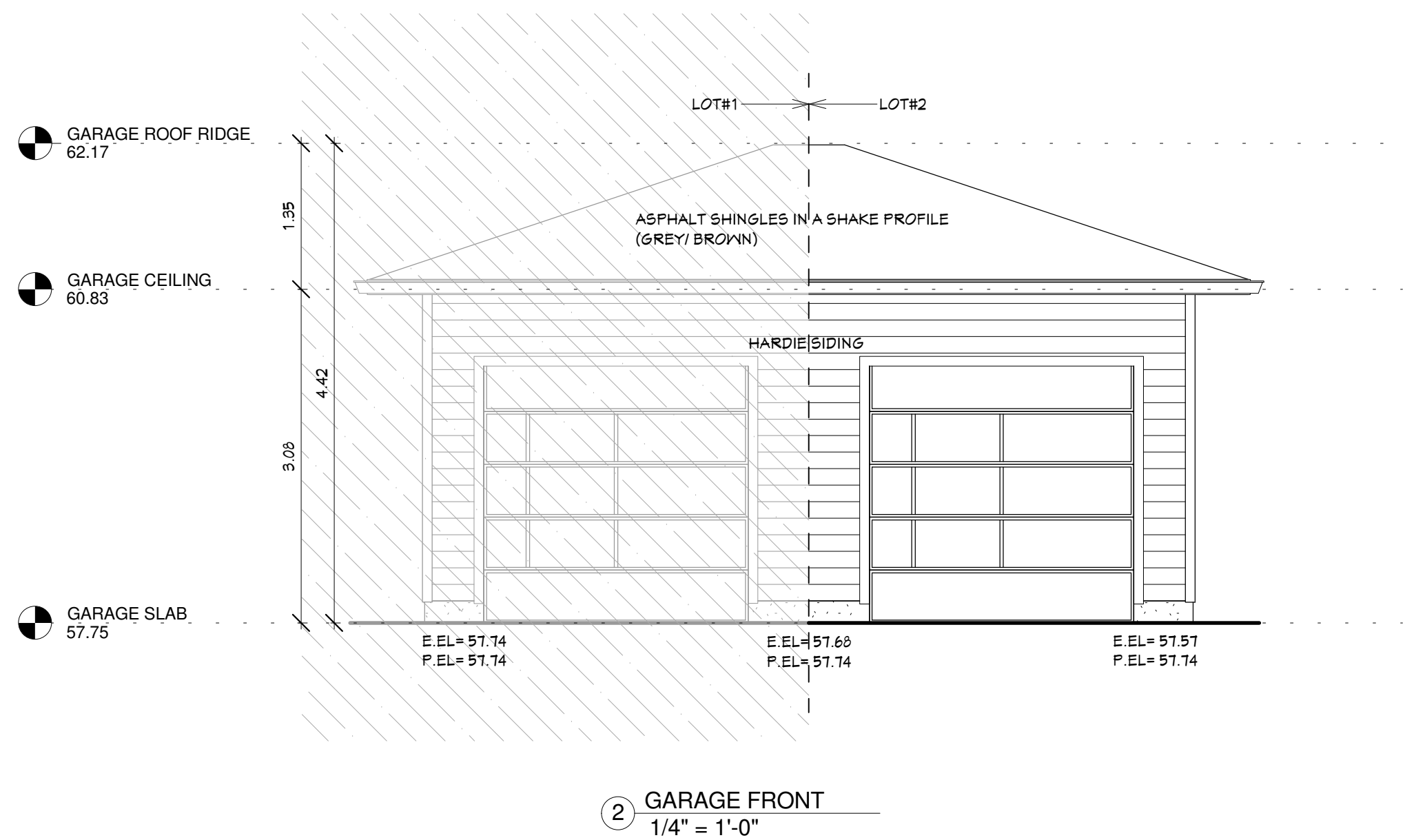
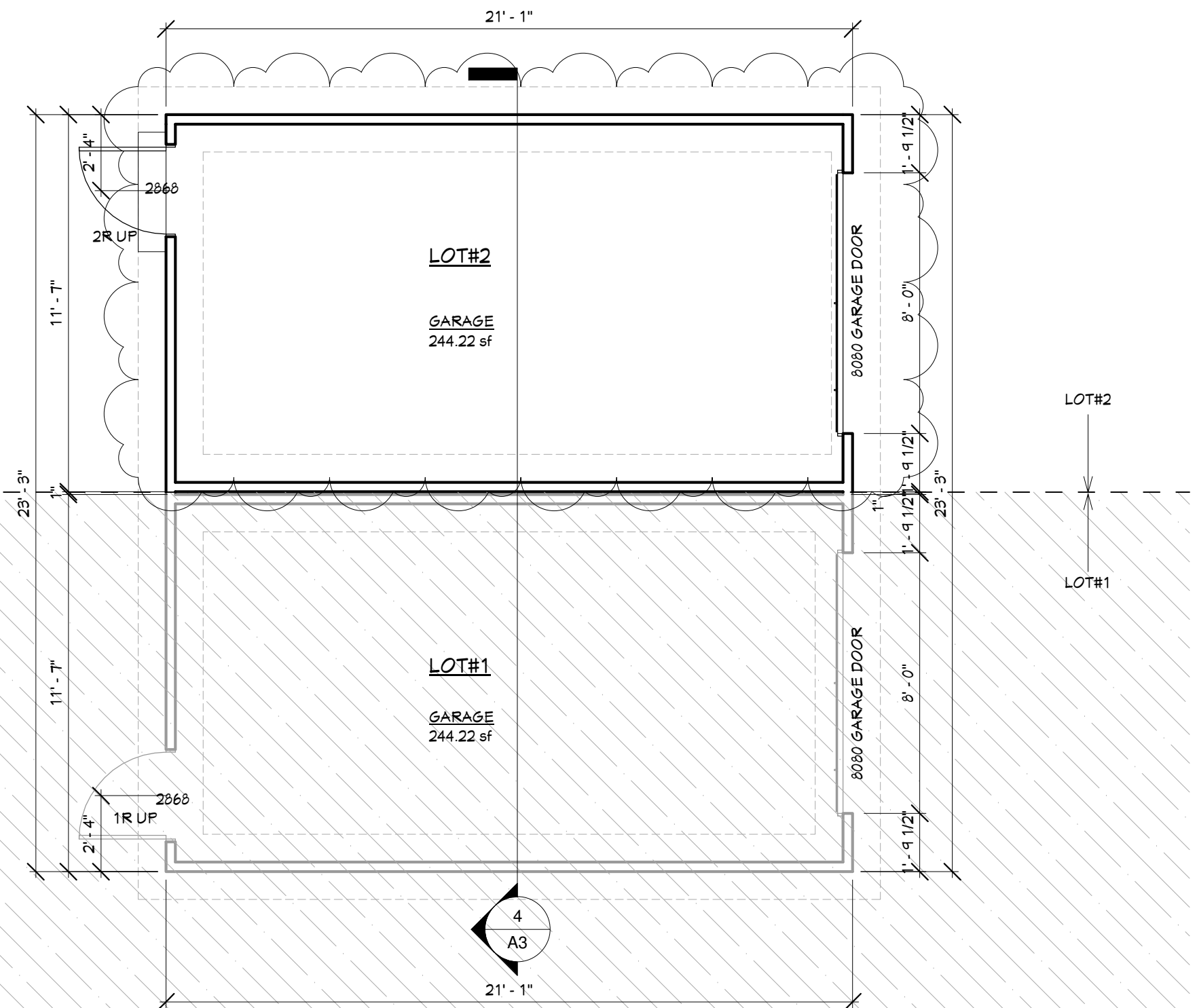
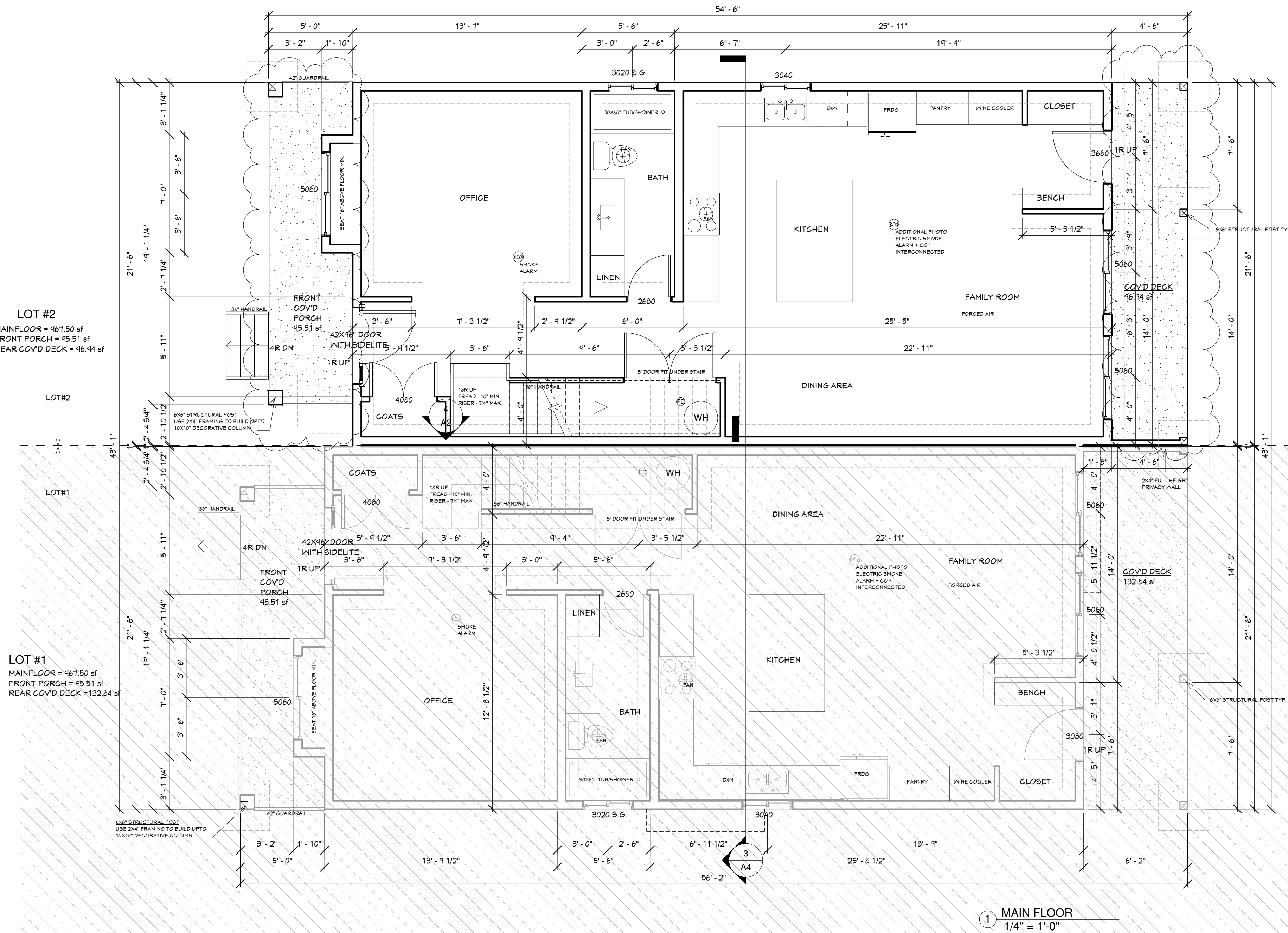
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Office: (604) 543-8286 Fax: (604) 543-8285

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Signature: *[Signature]* 21-07-2013 (v2)

Initials: *[Signature]* Date: OCT. 18 2013

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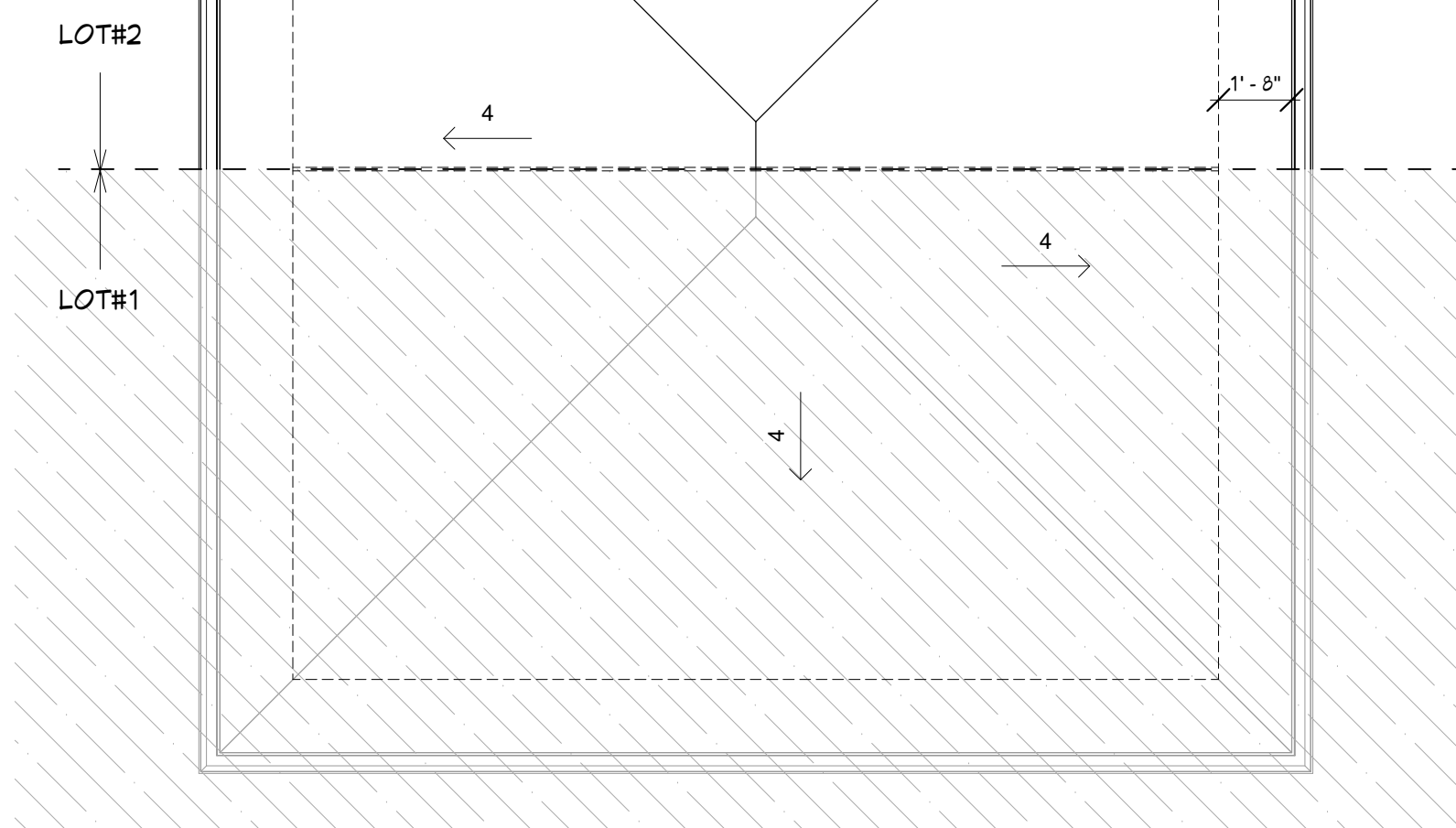


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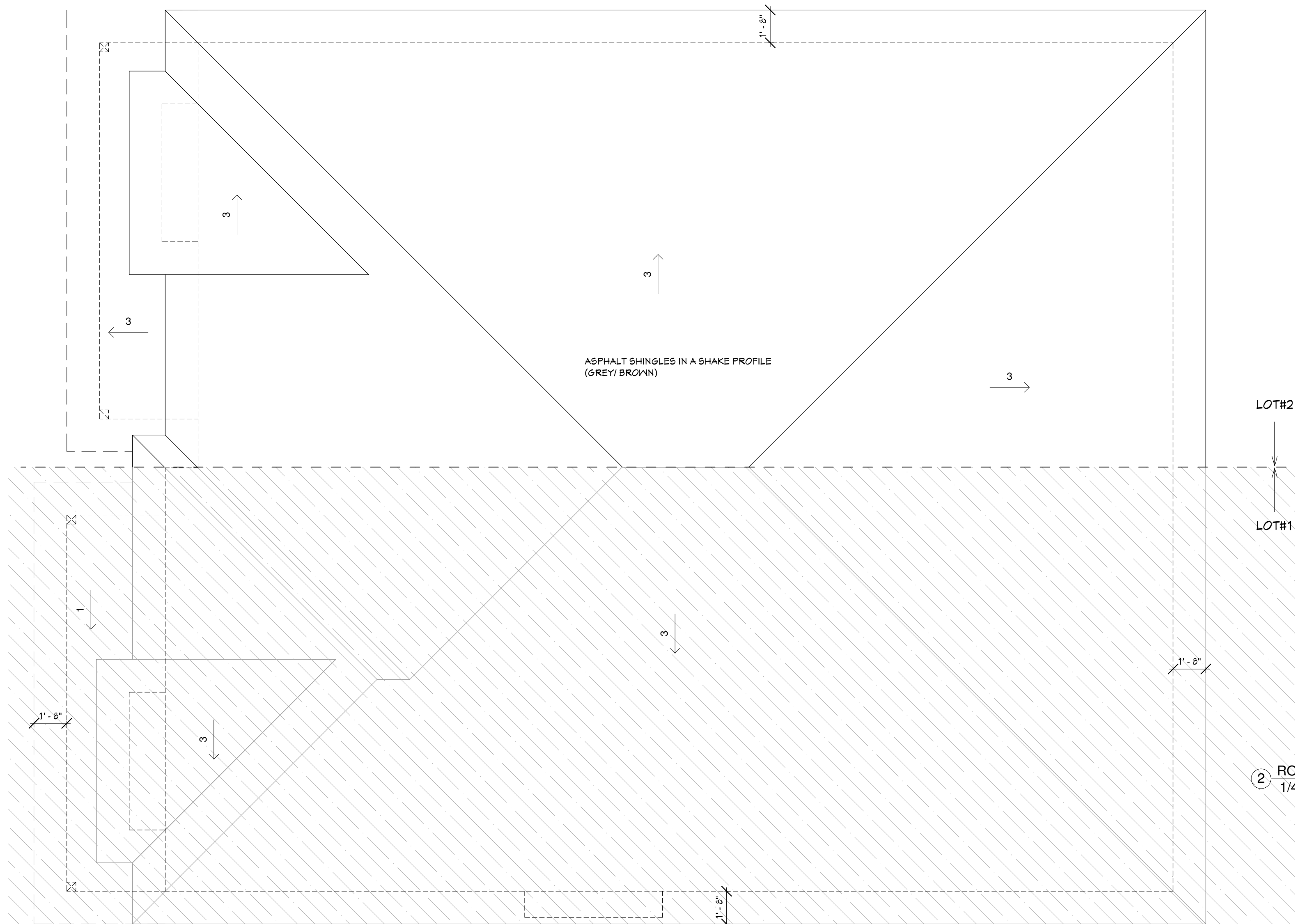
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SCHEME REGISTERED IN THE LAND TITLE OFFICE
21-0123
Signature: *Shamjit Kaila* Date: OCT 18, 2023
Initials: *SK* Date: OCT 18, 2023

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3 GARAGE ROOF
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"

LOT#2

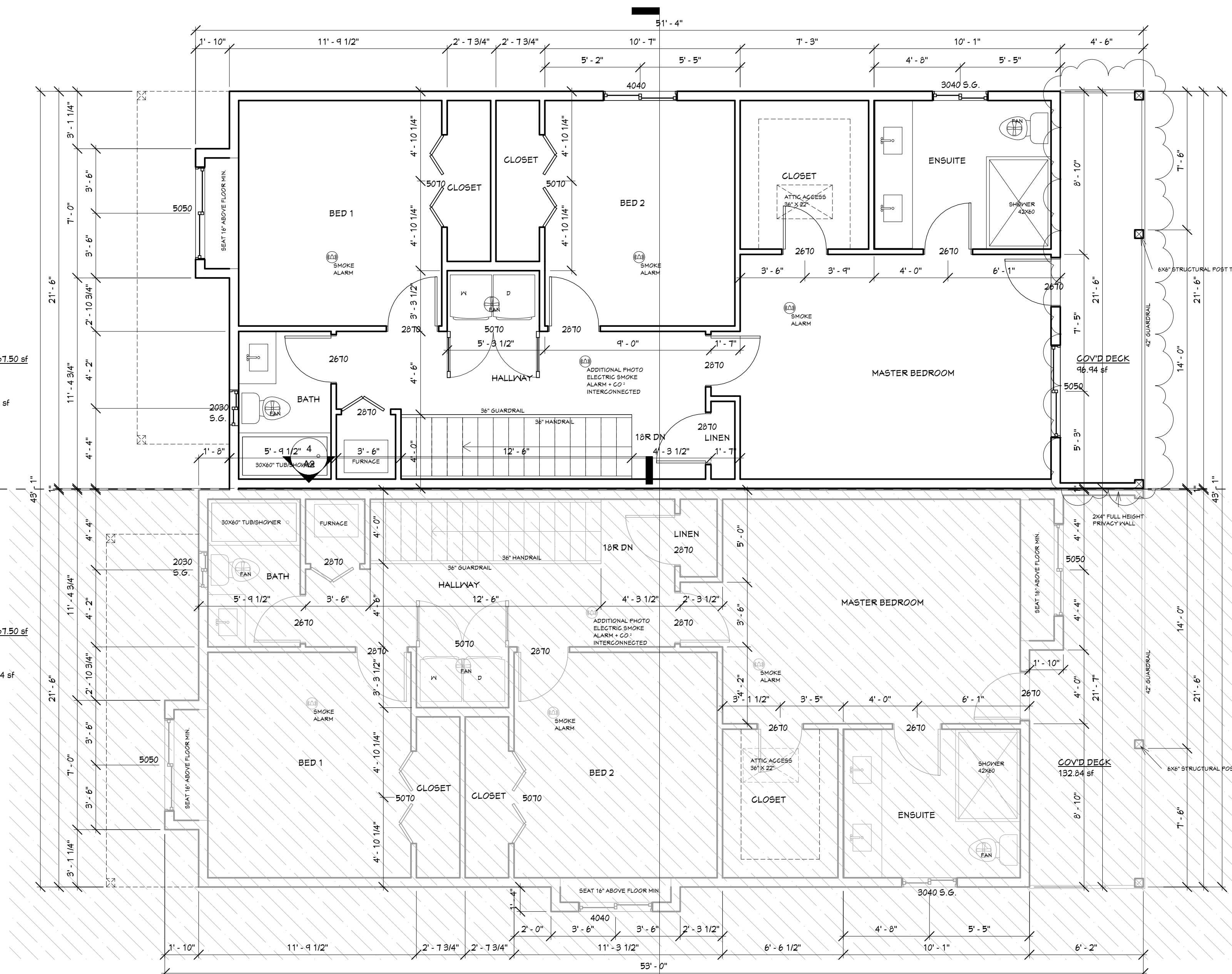
UPPER FLOOR GROSS = 967.50 sf
UPPER FLOOR = 923.75 sf
O.T.B STAIRS = 43.75 sf
REAR COVD DECK = 96.94 sf

LOT#2

LOT#1

LOT#1

UPPER FLOOR GROSS = 967.50 sf
UPPER FLOOR = 923.75 sf
O.T.B STAIRS = 43.75 sf
REAR COVD DECK = 132.84 sf

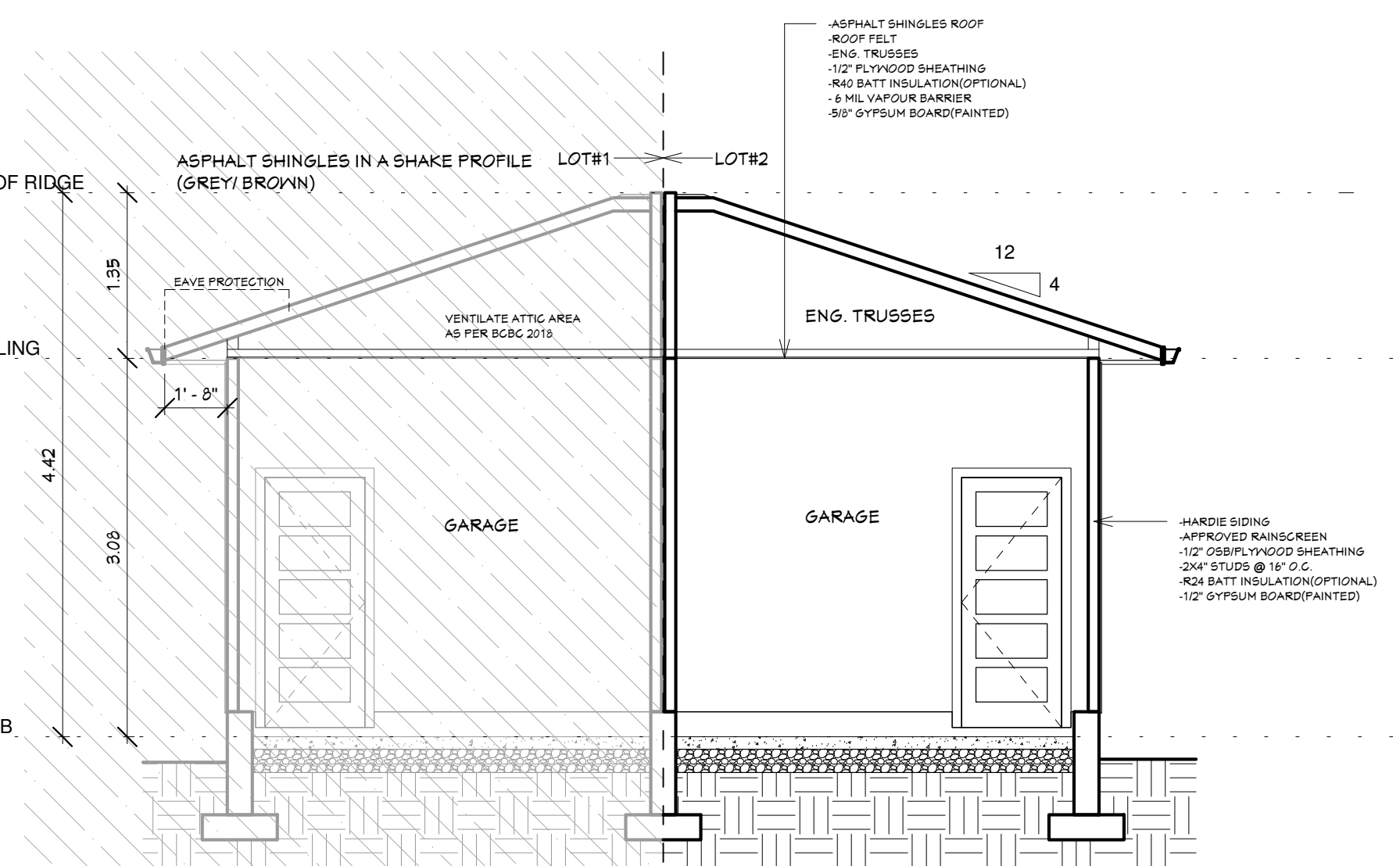


1 UPPER FLOOR
1/4" = 1'-0"

GARAGE ROOF RIDGE
62.17

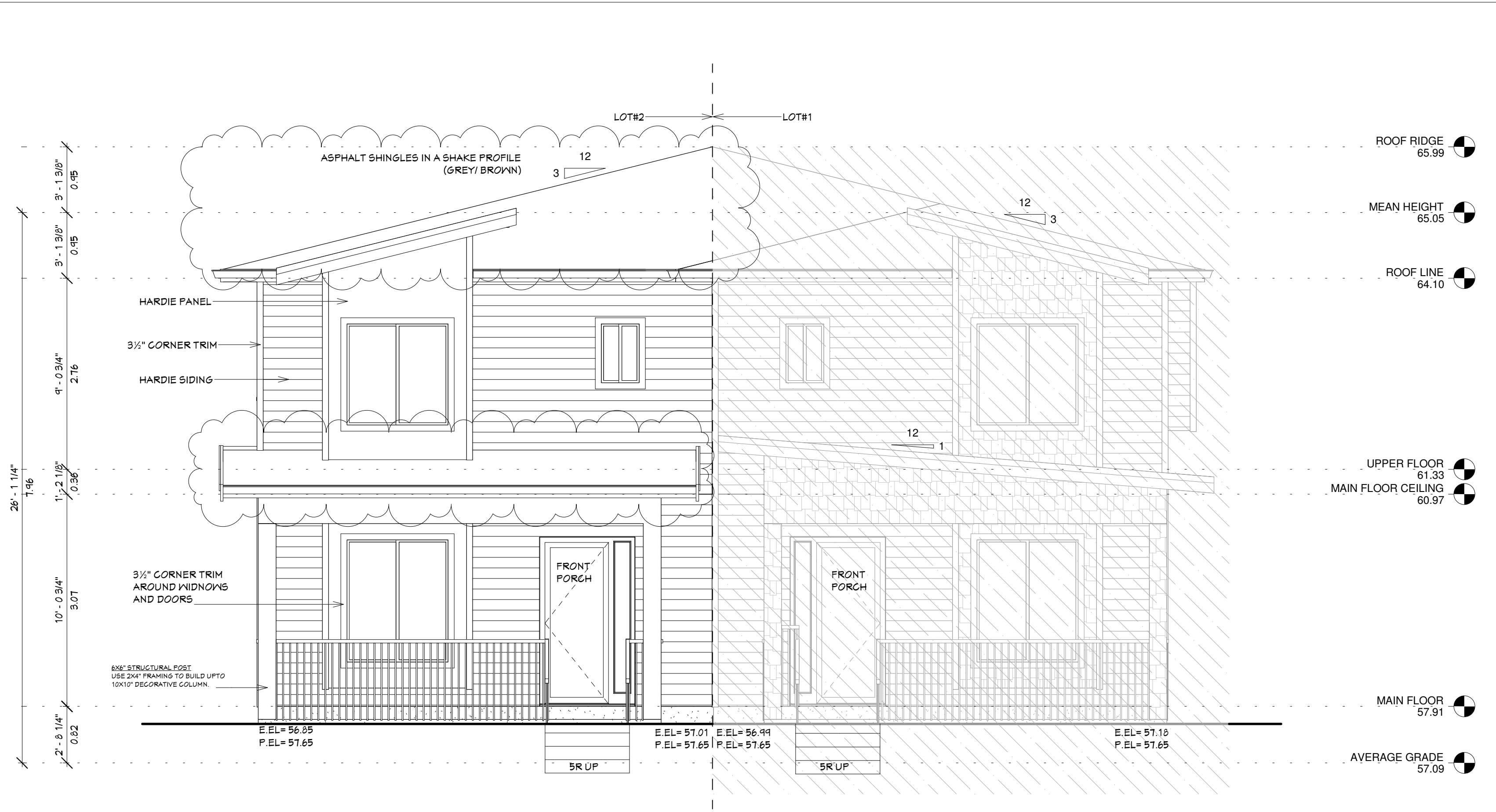
GARAGE CEILING
60.83

GARAGE SLAB
57.75



4 SECTION 1
1/4" = 1'-0"

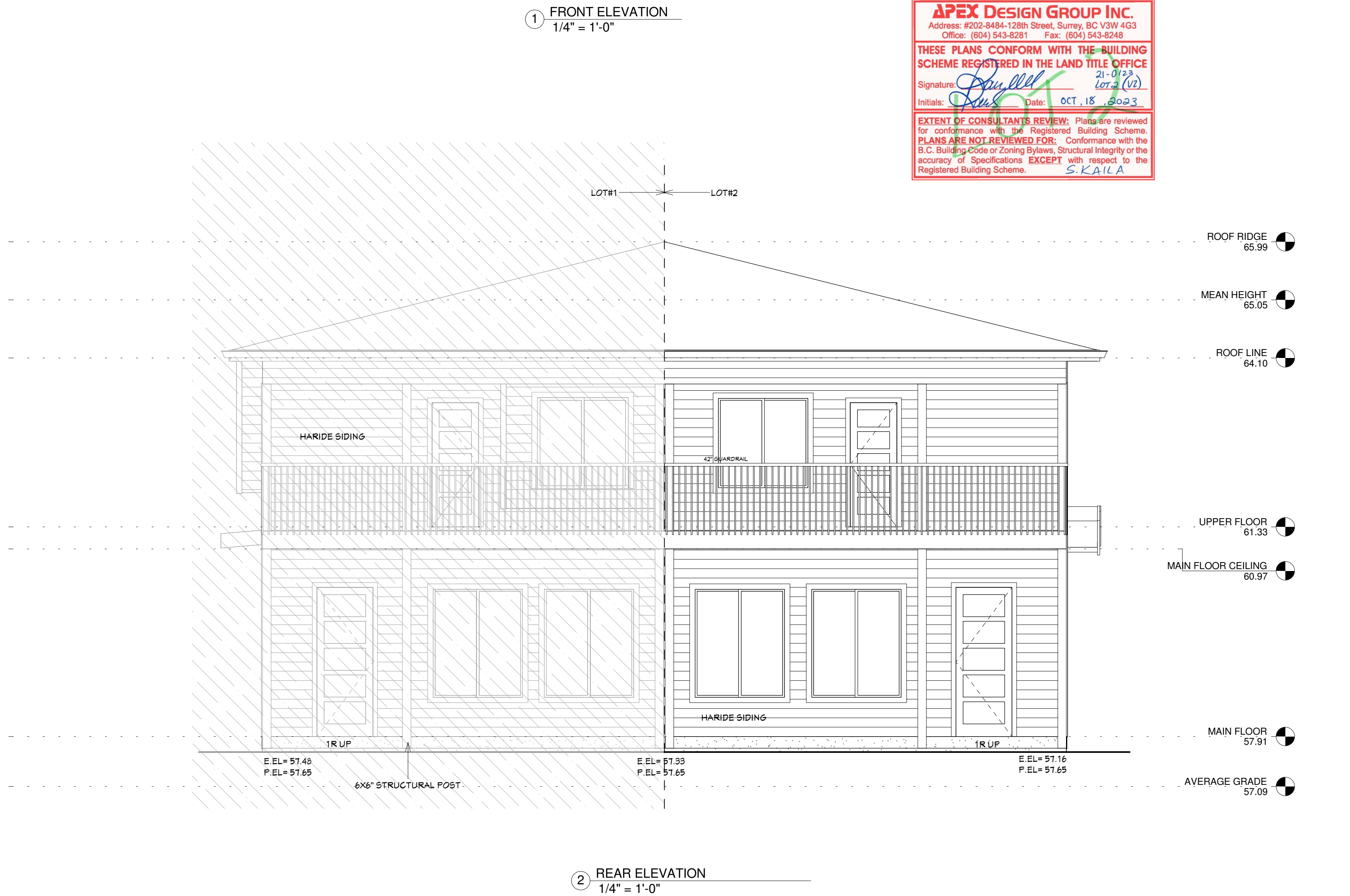
THESE PLANS ARE IN COMPLIANCE WITH THE 2018 BCBC



1. ROOF(TRUSS):

- ③ SECTION 2
1/4" = 1'-0"

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, THE ASSUMED LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. THE BUILDER SHALL BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THE PLANS AS SOON AS POSSIBLE. BY DOING SO HE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY HE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM OCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATION WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER BCBG CODE.
- BUILDER TO CHECK SNOW LOADS REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, 'RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES'.
- DAMP PROOFING OF 6 MIL POLYETHYLENE KEPLER BEAMS LAPPED AND TAPED. OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLAB. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSIST OF A 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35sq (3.75ft²) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm(15"). THE WINDOW OPENINGS SHALL BE A MAXIMUM OF 1.5m(5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 3" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
- FOUNDATION WALLS TO HAVE 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-4. ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-20. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
- LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 BCBG REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF R2 OR BETTER SFF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEER'S CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BRACING IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
- SITS OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBG AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURERS INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 BCBG.
- THE SITS OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS, BEFORE COMMENCEMENT OF CONSTRUCTION. ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
21. VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
22. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
23. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION. ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
24. EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
25. GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITTING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
26. ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 BCBG.
27. PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
28. THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
29. WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROOFED WITH SPLIT GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
30. THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGN.
31. NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ: (EXAMPLE DOOR SIZE 2865 MMx 2163 TYPICAL AND WINDOW 3016 MMx 2071" TYPICAL).
32. SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINKH DRAFTING AND HOME PLANS LTD. WITH NORTH SANITARY (C/NV), ELEVATION AND LOCATION.
33. OWNER/BUILDER TO VERIFY STORM IC ELEVATION AND LOCATION WITH CIVIL ENGINEER.
34. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
35. FIRE PROTECTION SHALL CONFORM TO THE BCBG 2018 EDITION.
36. ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE BCBG 2018 EDITION.
37. STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMpressive STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AT 28 DAYS.
38. ALL EXTERIOR CONCRETE SLABS SHALL HAVE AIR ENTRAINMENT.
39. BEAMS SHALL HAVE EVEN AND LEVEL BEARINGS AND SHALL HAVE NOT LESS THAN 3" LENGTH OF BEARINGS AT END SUPPORTS.
40. INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 3" IN LENGTH, SPACED NOT MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
41. FLOOR JOISTS SHALL HAVE BRIDGING ROCKS @ TOP MAX G.C. OR U.N.O.
42. ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2x10 U.N.O.
43. THE WIDTH OR DIAMETER OF A WOOD COLUMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
44. FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.



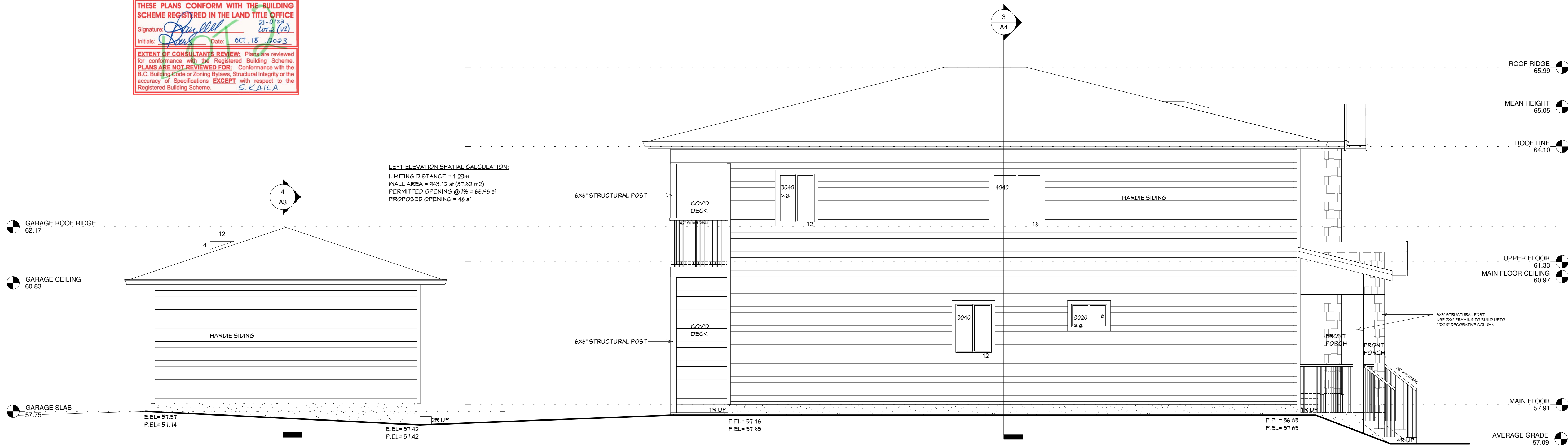
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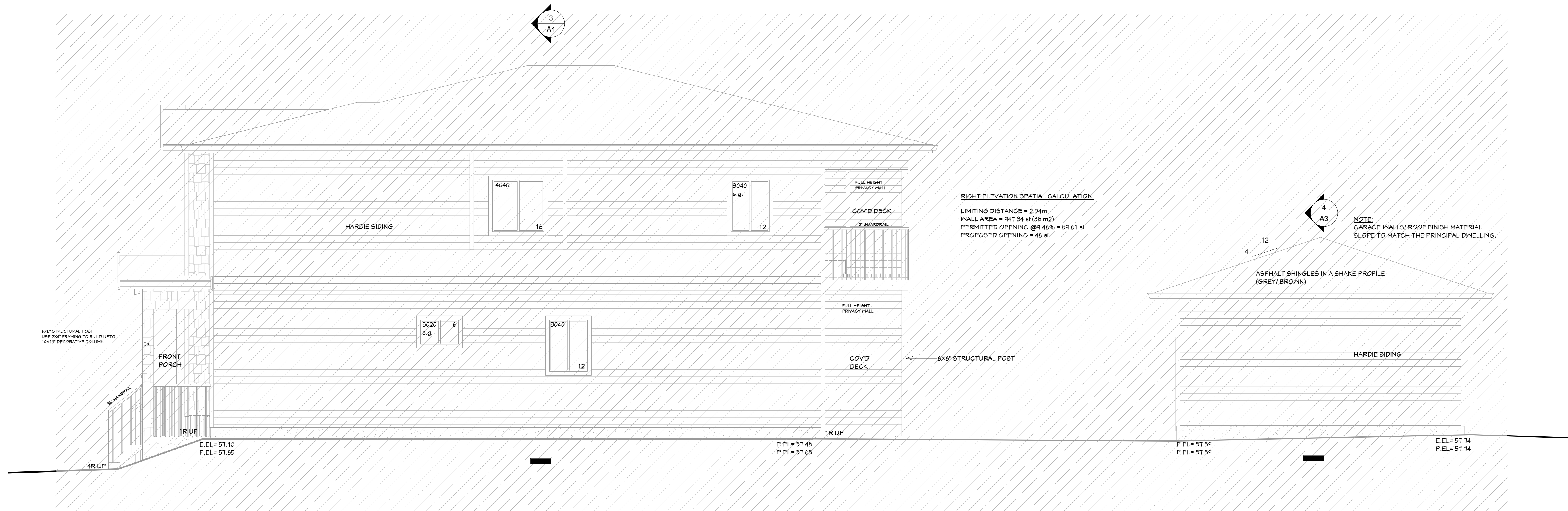
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Signature: *[Signature]* 21-0123
Initials: *[Initials]* Date: OCT 15, 2023

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1 LEFT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"

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