

BUILDING DESIGN GUIDELINES

Neighborhood Boundaries:

57 Avenue to the North,
12800 Block to the East,
56 Avenue to the south,
and 13000 Block to the west

**Civic address of parent parcel:
12973 - 56 Avenue, Surrey, BC**

Subdivision of one "One Acre Residential" (RA) property into
two "Half-Acre Residential" (RH) properties.

There is no existing house on the property
2 lots proposed
2 new dwellings proposed

Developer: Anup Loodu

Surrey Project #7918-0308-00

Version 1: October 5, 2018

Prepared by:

Simplex

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BUILDING SCHEME SCHEDULE OF RESTRICTIONS

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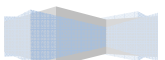
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CITY OF SURREY BUILDING SCHEME

SCHEDULE OF RESTRICTIONS

SECTION 1

GENERAL RESTRICTIONS

1.1 Definitions

In this schedule:

"City" means the City of Surrey;

"construct" and any variation of that term, means to construct, improve, install, affix, place, or alter, or to permit construction, *improvements*, installation, affixation, placement or alteration;

"consultant" means an architect in good standing with the Architectural Institute of British Columbia or any successor body, or a registered design *consultant* in good standing with the National Home Designers Association or any successor body, or a registered building designer and/or a certified residential building designer in good standing with the Applied Science Technologists and Technicians of British Columbia or any successor body, who is appointed by the developer and who is authorized by the City in writing;

"developer" means the registered owners) of the fee simple or leasehold estate of all of the *lots* as of the date this schedule is registered in the Land Title Office;

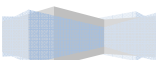
"improvements" means any building, accessory building in excess of 10 square metres [105 square feet], fence or retaining wall constructed or to be constructed on a *lot*,

"lot" means each *lot* identified in either the Form 35 or the Form C to which this schedule is attached and any portions or portion of such *lot* which may be subdivided or consolidated whether by subdivision plan, strata plan or otherwise and *'lots'* means the aggregate of them;

"owner" means the registered owner of the fee simple or leasehold estate of a *lot*,

"person" means any individual, corporation, society, association, co-operative, joint venture, partnership, trust, unincorporated organization, government, or other legal entity, and includes the owner of a *lot* and the developer,

"schedule" means this schedule of restrictions and any further schedules or exhibits attached to it (if any);



1.2 Expiry

This *Schedule* shall have no further force and effect after twenty (20) years from the date of registration of this *schedule* in the Land Title Office, and shall be discharged from all of the *lots* by the passage of this time.

SECTION 2

BUILDING DESIGN RESTRICTIONS

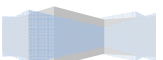
For all of the subsections in Section 2, a person will not *construct improvements*, or develop the *lot* before, during or after construction of the *improvements*, unless:

2.1 Building Siting

- (a) that person sites the *improvements* in accordance with the *lot's* natural characteristics, existing trees, and neighboring *improvements*, in relation to the over view or over shadowing of neighboring *lots* and *improvements*;
- (b) the siting of the *improvements* complies with the *consultant's* requirements, which may be based on the creation of interesting streetscapes, maximization of privacy, or may be in response to conditions imposed by adjacent *improvements*;
- (c) that person considers all requirements of easements and rights-of-way; and
- (d) that person has verified that the physical location of driveway and curb letdowns, significant trees, cable service boxes, electrical boxes, and streetlights does not conflict with the design or location of the *improvements*.

2.2 Lot Grading

- (a) established overland flows and/or underground storm sub-surface systems are maintained only in accordance with completed swales and *lot* grading in accordance with the *lot* grading plan accepted by the *City* for the *lots*;
- (b) the design of the *improvements* is in substantial compliance with the *lot* grading plan for the *lots* which has been reviewed by the *consultant* and accepted by the *City*, and the said plan specifies all finished grade



elevations as derived from the *lot* grading plan for the *lots* accepted by the *City* and grade elevations in respect of that *lot*;

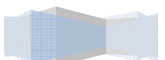
- (c) the proposed *lot* grading is in accordance with the *lot* grading plan for the *lots* accepted by the *City*, which *lot* grading plan will be available from the *City*, and
- (d) that *person* provides that any changes made to the *lot* do not affect the drainage pattern for the area.

2.3 Retaining Walls

- (a) there is no retaining wall, except if permitted in the *lot* grading plan accepted by the *City* for the *lots*, or if accepted by the *City*. A low profile retaining wall that is no more than 20 cm [7.9 inches] in height, such as landscape ties, is not restricted, provided that such a low profile retaining wall does not result in terraced landscaping;
- (b) the maximum height of a retaining wall is no more than 0.6 meters [2.0 feet], except for a retaining wall below existing grade, including concrete stairwells and covered patios under sun decks;
- (c) retaining walls visible from the street are constructed of architecturally treated masonry or "Allan Blocks", or "Pisa Stone";
- (d) a retaining wall that faces the street, if permitted, is landscaped; and
- (e) retaining walls not visible from the street, if permitted, shall be constructed of architecturally treated masonry, or masonry blocks, or pressure treated landscape ties, except for a retaining wall below existing grade including concrete stairwells and covered patios under sun decks.

2.4 Tree Preservation

- (a) that *person* does not cut down or remove from the *lot* any existing trees if that *person*:
 - (i) obtains a tree cutting permit from the *City*,
 - (ii) in respect of any tree identified on the tree location plan, obtains a written recommendation by an accredited arborist or other tree specialist authorized by the *City*, stating that the tree is diseased and/or hazardous and should be removed and provides such certification to the *City*, and



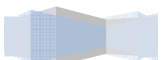
- (iii) if required by the *City* as part of the tree cutting permit, replaces any removed tree with a minimum of two other trees elsewhere on the *lot* which will be a minimum of three meters [10 feet] tall if coniferous, or five centimeters [2 inches] caliper if deciduous.

2.5 Landscaping

- (a) all street fronting yard areas on the *lot* are landscaped;
- (b) that *person* completes the front yard landscaping within 60 days of the completion of the *improvements*, except if weather conditions make it impossible to do so, in which case that *person* will complete that landscaping as expeditiously as possible, and prior to final inspection;
- (c) that *person* cleans and grades side and rear yards within 60 days of the completion of the *improvements*, and prior to final inspection; and
- (d) each lot shall have a minimum of 300mm absorbent soils; and
- (e) in addition to the planting requirement that *person* installs the following minimum additional planting materials:
 - (i) Shrubs: on each *lot* provide a minimum of 40 shrubs (3 gallon pot minimum); and
 - (ii) Sod: provide sod from the street to the front face of the home.

2.6 Driveways and Walkways

- (a) only the following *construction* materials for the driveway are used:
 - (i) exposed aggregate concrete, or
 - (ii) pavers, or
 - (iii) stamped concrete, or
 - (iv) "broom" or "brush-finished" concrete.
- (b) the location of the driveway and walkways avoids significant trees, streetlights, or service boxes, and does not conflict with drainage swales on the *lot* grading plan;
- (c) the front entry walkway material does not differ from that used for the driveway.



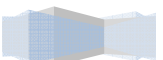
2.7 Building Design Repetition

the exterior design of a single family dwelling to be erected on a *lot* shall not be identical or similar to that of an existing or proposed single family dwelling on a *lot* on the same side of the fronting highway within four *lots* measured from the closest *lot* lines. A single family dwelling is deemed to have a similar exterior design to an existing single family dwelling when:

- (a) the front elevation designs are identical or have insignificant variations in the disposition and articulation of design features; or
- (b) the front elevation designs are a mirror image to each other, with or without any variation in architectural details.

2.8 Building Massing

- (a) the building massing of the *improvements* does not create a canyon effect in relation to the open space between the *improvements* above the first storey;
- (b) the building massing for *improvements* on the subject *lot* is to be compatible with the *lot* grading plan and the building massing of *improvements* on adjacent *lots*, in relation to roof design and transition in building height;
- (c) massing designs shall be in accordance with the following principles;
 - (i) the volume of the wall mass of individual architectural elements, such as the front entrance, and feature projections are in proportions normally associated with the declared style of the dwelling;
 - (ii) wall mass volumes on any street facing facade are allocated to locations on that facade in a manner that results in the achievement of overall balance in the design;



2.9 Corner Lot Design

- (a) One storey elements comprise a minimum of 25% of the width of the front and the flanking street elevations of the single family dwelling; and
- (b) the design achieves the objective of creating corner lot open sky views through massing designs which step down to the street corner, as determined by consultant; and
- (c) the exterior treatment of the flanking street side of the single family dwelling is the same as the exterior treatment of the fronting street side of the single family dwelling; and
- (d) the design provides for architectural features including windows, roof skirting, projections with independent roods, and trim around windows and doors on both the front and flanking street sides of the dwelling.

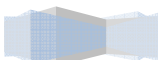
2.10 Roof

(a) Design

- (i) the *improvements* have a varied roof form and design in relation to adjacent *improvements*; and
- (ii) roofs are designed so as to reduce upper floor massing determined by the *consultant*.

(b) Pitch

- (i) the minimum roof pitch is 6:12 and maximum 16:12, except as provided in clauses 2.11 (b) (ii) and 2.11 (b) (iii) herein;
- (ii) the slope of the upper-most roof system shall be reduced where it is determined by the *consultant* that a roof slope reduction would reduce over-shadowing of neighboring *lots*, or would preserve view corridors for neighbors; and
- (iii) the roof pitch is constant, except where necessary, dual roof pitch may be used.



(c) **Material**

only the following roofing materials are used:

- (i) Concrete roof tiles, which are in a "shake profile" only, are approved by the Canadian Standards Association (CSA approved), and are approved by the *consultant*, or
- (ii) Asphalt shingles in a "shake profile" only, with a 30 year or greater warranty, which are accompanied by a pre-formed (manufactured) raised ridge cap, or
- (iii) Environmentally sustainable roofing products in a shake profile only, that meet or exceed the thickness of roofing products specified in clause 2.11 (c) herein.

(d) **Color**

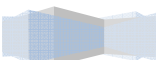
- (i) only the following roof colors are used: grey, brown, or black.

(e) **Skylights**

- (i) skylights which are bubble style are not permitted on street facing elevations.

2.11 Covered Parking

- (a) the parking structure is limited to a three vehicle garage;
- (b) the parking structure is equipped with vehicular entrance doors that close;
- (c) the panel design on the garage doors is of a "raised panel" type that is compatible with the front entry doors; and
- (d) the garage is of a design which reduces the exposed wall mass over the garage door to not more than 1.0 meter [3'-0"].



2.12 Balconies

- (a) there are no, decks, on the front or sides of the single family dwelling, except:
 - (i) covered entry verandas are permitted at the main floor at the front side of the home; or
 - (ii) decorative balconies on the second floor upon consultants approval or enclosed within a roof.

2.13 Foundation Exposure

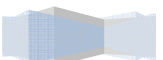
- (a) exposed concrete foundations do not exceed 0.3 meters [12 inches] in height measured from the finished grade to the underside of the siding, except for stepped foundations to accommodate the finished grade of the lot.

2.14 Fascia Boards

- (a) fascia boards and barge boards are fully finished on all exposed sides;
- (b) where fascia boards are used, the fascia boards are of a minimum dimension of 2x8 nominal; and
- (c) where barge boards are used, the barge boards are of a minimum dimension of 2x10 nominal, and are accompanied by 1x4 or larger trim applied to the top side of the barge board.

2.15 Building Exterior

- (a) General
 - (i) not more than four different cladding materials, excluding trim, may be applied to any elevation.
- (b) Materials
 - (i) only the following materials are used, with required accent materials measured as a percentage of the exposed wall face on the front facade, including window and door area:



Main cladding material	Minimum Required Accent materials
Stucco	20% brick or stone
Stucco	20% cedar or wood shingles
Stucco	15% cedar plus 10% brick or stone
Hardiplank	15% brick or stone
Hardiplank	20% cedar or wood shingles
Hardiplank	15% cedar plus 10% brick or stone

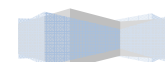
Brick or stone veneer: Even toned in brown or grey hues only with grey or earth tone mortar.

(c) Colors

- (i) only the following range of colors are used on exterior cladding materials:
 - colors from a neutral and natural (earth tone) color palette including white, cream, greys, charcoal, browns, clay, sage, and other earth tones; and
 - trim or wall cladding colours outside neutral and natural colour palettes such as navy blue, forest green, colonial red, amber-yellow or other colours which are approved by the *consultant*;
- (ii) only the following range of colours on the trim are used:
 - lighter or darker shades of colours as specified in subsection (i) above.
- (iii) cedar trim is used only if it is sealed to prevent the leaching of stains onto the cladding material.

2.16 Accent Materials and Trims

- (a) accents such as brick or stone are not used unless they turn the corner and extend a minimum of 0.9 metres [3.0 feet] or to a vertical break in the return wall such as a chimney or a wall projection, except that where a stone or brick return is designed to simulate a column, the return shall be at least equal to the width of the column face;
- (b) brick or stone are not used as an accent on the front face unless it covers at least 20% of the exposed face, preferably located at the base



of the wall face, or is in accordance with the table in clause 2.16(b) herein;

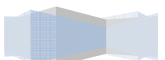
- (c) brick or stone on the street face is used only if the colour, pattern, and texture are compatible with the siding;
- (d) there is no use of concrete blocks or jumbo blocks which are exposed to the exterior;
- (e) min 1x4 nominal trim is used on all street facing elevations;
- (f) mortar shall be grey or earth tone colors only;
- (g) the base of the structure at the front of the home is defined by the use of 2x10 nominal raised base trim, or by the use of a soldier course of brick, or by the use of a stone accent material;
- (h) not less than three of the following details shall be included on all new homes: furred out wood posts, articulated wood post bases, wood dentil details, louvered wood vents, decorative wood braces, articulated gable ends, and generous trim around windows and doors which include layered or crown moldings above the entrance door and key focal openings; and
- (i) all trim elements specified on the *final drawings and specifications* are applied as indicated to the structure.

2.17 Windows

- (a) window openings on the front facade are only of a consistent geometrical shape with the exception that a main feature window on the lower floor may be of a different shape providing, in the opinion of the *consultant*, that the feature window shape contributes to both the interest and consistency of the overall theme; and
- (b) there are no basement windows on the front facade, except to complement unique site grading.

2.18 Front Entry Design

- (a) the single family dwelling does not have a front entrance exceeding a height of 3.66 meters [12'-0"] measured from the top of the stoop slab to the underside of the entry roof, unless determined by the *consultant* on the strength of architectural features; and



2.19 Chimneys

- (a) all exterior chimneys visible from the street adjacent to the *lot* are *constructed* only if they are continuous to grade, with a foundation; or
- (b) if the chimneys are used as an architectural element based upon the consultants approval.

