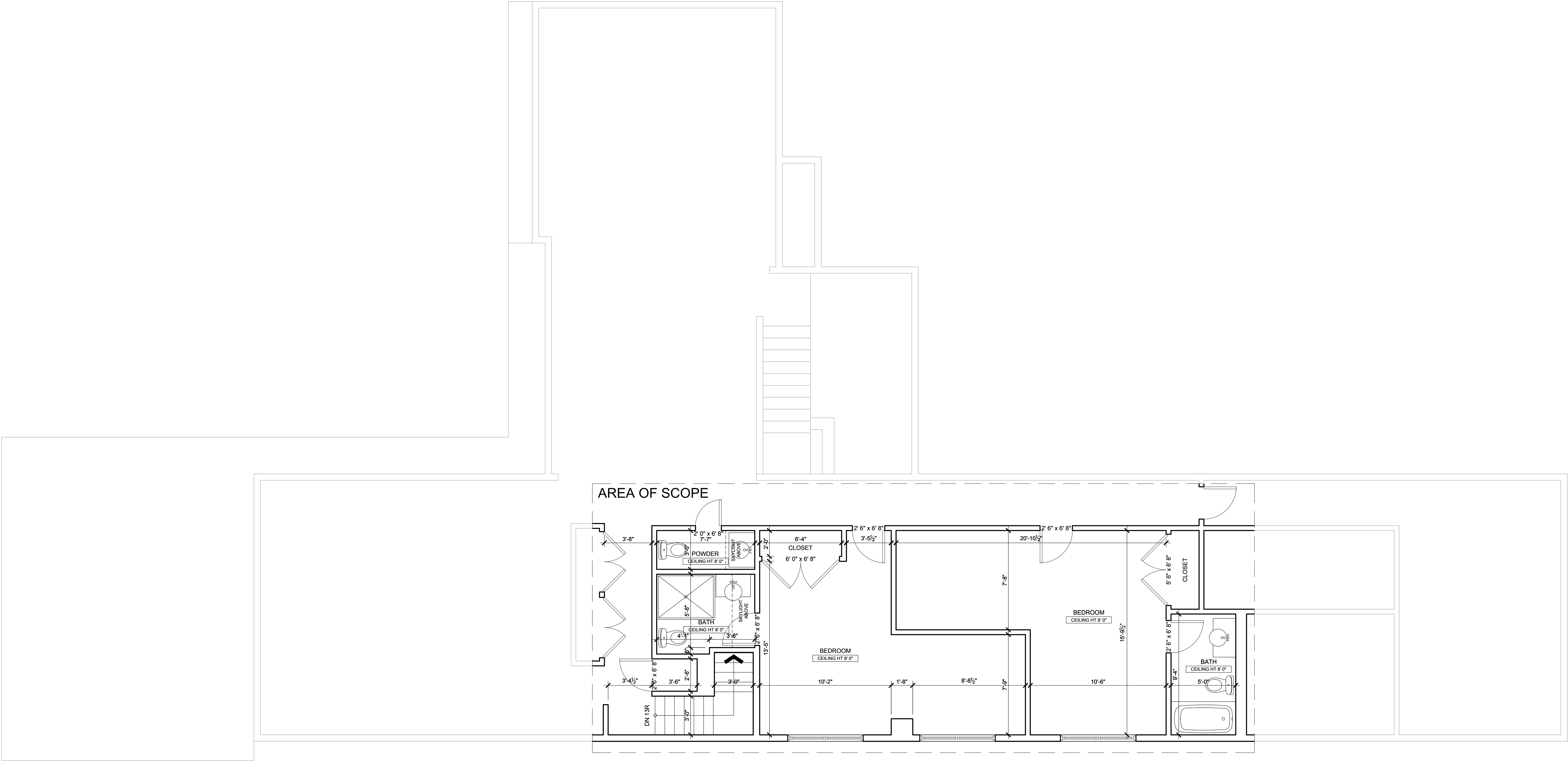
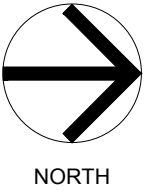




1 EXISTING MAIN FLOOR PLAN
A202 1/4" = 1'-0"

NOTES:
Existing conditions recorded on site using a Matterport Infrared HD Scanner. All dimensions +/- 2"
Gross Area is calculated to the outside face of exterior walls or the assumed mid-point of demising walls (if applicable).
Exterior walls assumed to be either 6" or 8" thick U.N.O
General contractor to check and confirm all dimensions, elevations and datum's prior to any demolition or construction.
Any and all work to be done in accordance with the latest edition of the British Columbia Building Code, and all local municipal bylaws.
Do not scale drawing. While deemed correct, existing conditions shown on this plan are not guaranteed.
Gross Area Calculations include all area's, regardless of ceiling height clearances, and therefore may include under height area's.
All sill heights are @ finished floor, U.N.O.
This drawing supercedes all previous issues/revisions.
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CLIENT:

REV	DATE	DESCRIPTION
07/07/2022	1	AS-BUILT RECORD DRAWING
ISSUED:		MM/DD/YYYY
ISSUE:		

west coast

MEASURING

MEASURING | FLOOR PLANS | DRAFTING

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PROJECT:
AS-BUILT DRAWINGS
1928 Nelson Avenue
West Vancouver V7V 2P4

DRAWN: KO	DATE MEASURED: JUN. 14, 2022
MEASURED: KO	SCALE: AS NOTED
TITLE FILE: NEL192	JOB NO: 22-0099

SHEET TITLE:

AS-BUILT FLOOR PLAN
MAIN FLOOR

DRAWING NUMBER:

A202