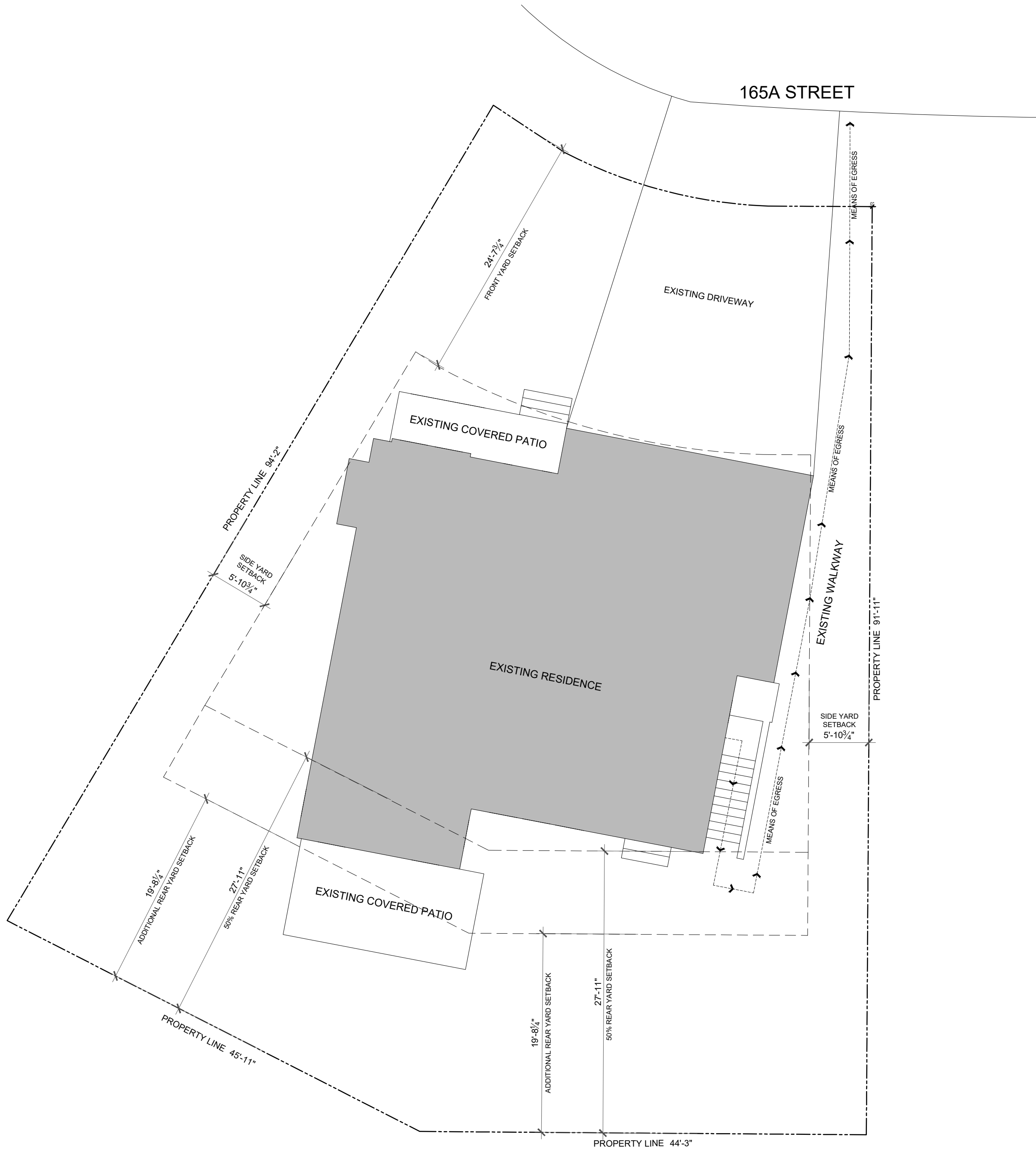
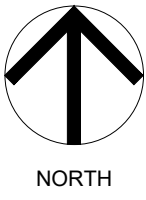




1 SITE PLAN
ID0 1/8"=1'-0"

BUILDING & SITE STATISTICS

MUNICIPAL ADDRESS OF BUILDING:
6337 165A ST SURREY V3S 0W2

LEGAL DESCRIPTION OF PROPERTY:
Lot 23 Plan BCP3372 Section 12 Township 2 Land District 36
PID: 025-572-326

MUNICIPAL ZONING:
RF

SITE CALCULATIONS:
LOT AREA: 6,029 SQ. FT.
GROSS BUILDING AREA: 3,317.03 SQ. FT.

LOT COVERAGE (DECKS INCLUSIVE) 35% ALLOWED
= TOTAL MAIN FLOOR AREA AND DECKS / SITE AREA
= 1,151.74+496.78+280.97 / 6,029 = 32%

BUILDING CLASSIFICATION:
GROUP C, 3 STORIES

CODE REFERENCE:
2018 BRITISH COLUMBIA BUILDING CODE

BUILDING AREA:
RESIDENCE
=LOWER FLOOR GROSS AREA: 1,110.20 ±SQ. FT.
=MAIN FLOOR GROSS AREA: 1,151.74 ±SQ. FT.
=UPPER FLOOR SCOPE AREA: 1,055.09 ±SQ. FT.
=TOTAL GROSS AREA: 3,317.03 ±SQ. FT.

AUXILIARY AREAS (GARAGE): 496.78 ±SQ. FT.
AUXILIARY AREAS (PATIO, PORCH): 280.97 ±SQ. FT.
TOTAL MEASURED AREA: 4,094.78 ±SQ. FT.

OFF STREET PARKING:
SINGLE FAMILY DWELLING: 2 REQUIRED, 2 PROVIDED
SECONDARY SUITE: 1 REQUIRED, 1 PROVIDED

TYPE OF CONSTRUCTION:
COMBUSTIBLE

STREETS FACING:
ONE

SPRINKLERED:
NO

GENERAL NOTES

ALL WORK AND MATERIALS SUPPLIED FOR THIS PROJECT ARE TO MEET OR EXCEED APPLICABLE MINIMUM STANDARD OF THE CANADIAN SPECIFICATIONS BOARD, THE CANADIAN STANDARDS ASSOCIATION, THE WORKERS COMPENSATION BOARD OF BRITISH COLUMBIA, THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION, AND ALL APPLICABLE LOCAL CODES AND BY-LAWS.

CONSTRUCTION PRACTICES AND SITE CONDITIONS TO MEET ALL REQUIREMENTS OF THE DISTRICT OF SURREY.

LOT AREA AND LOCATION OF EXISTING BUILDINGS TO REMAIN AS EXISTING. SITE PLAN AND LOT LINES DERIVED FROM COSMOS CITY MAP.

CONTRACTOR AND/OR OWNER SHALL ENSURE THAT THE CONSTRUCTION COMPLIES WITH ALL NATIONAL, PROVINCIAL AND LOCAL STATUTES AND REGULATIONS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR AND/OR OWNER SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS AND GOOD BUILDING PRACTICE.

FRAMING MATERIALS TO BE #2 SPRUCE/PINE/FIR OR BETTER UNLESS SPECIFIED OTHERWISE. THE USE OF OTHER SPECIES MUST CONFORM TO WOOD FRAME CONSTRUCTION TABLES IN B.C.B.C.

ALL HEADERS TO BE 2-2X10 UNLESS OTHERWISE NOTED. ALL HEADERS AND BEAMS SHALL HAVE A MINIMUM OF 3" BEARING.

ALL WOOD MEMBERS IN CONTACT WITH CONCRETE TO BE PROTECTED WITH 45 LB FELT DAMP-PROOFING COURSE OR APPROVED EQUAL.

FLOOR JOISTS SHALL BE DOUBLED, OR BLOCKING SHALL BE PLACED BETWEEN JOISTS UNDER NON-LOADBEARING PARTITIONS PARALLEL TO JOISTS.

ALL MANUFACTURED STRUCTURAL WOOD MEMBERS TO BE ENGINEERED AND ACCOMPANIED BY A CERTIFICATE. THE SIZES AND SPANS OF SPECIALTY LAMINATED BEAMS TO BE CHECKED AND VERIFIED BY THE SUPPLIER PRIOR TO PURCHASE.

ALL MASONRY CONSTRUCTION AND/OR FINISHES SHALL CONFORM TO CURRENT B.C.B.C. STANDARDS.

CAULK ALL EXTERIOR JOINTS AND SEAL ALL OPENINGS IN VAPOUR BARRIER.

ALL WINDOW AND DOOR OPENINGS TO BE FLASHED AND CAULKED.

SMOKE ALARMS TO BE PROVIDED PER B.C.B.C. 9.10.18

PROVIDE ALUMINUM OR G.I. FLASHINGS OVER ALL EXT. OPENINGS.

VENTILATION REQUIREMENTS TO CONFORM TO B.C.B.C. 9.33.3 AND APPENDIX A: 9.33.3.1 - MIN 1 AIR CHANGE PER HOUR.

PROVIDE OVERFLOW DRAIN BELOW DOOR LEVEL ON SUNDECKS.

DWELLING SECURITY REQUIREMENTS PER B.C.B.C. 9.6.6.

ALL INTERIOR OR EXTERIOR FINISHING SHALL BE AS SPECIFIED BY OWNER. ANY FINISHING SHOWN ON PLANS SHALL BE CONFIRMED BY OWNER.

ANY ENGINEERING FEES AND/OR SERVICES THAT MAY BE REQUIRED ARE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.

NOTES:
General contractor to check and confirm all dimensions, elevations and datums prior to any construction.

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Do not scale drawing.

This drawing supercedes all previous issues.

DRAWING REFERENCE SYMBOLS:

1 DETAIL NUMBER
A500 DRAWING NUMBER WHERE LOCATED

2 SECTION DETAIL
A300 DRAWING NUMBER WHERE LOCATED

2 BUILDING SECTION REFERENCE
A300 DRAWING NUMBER WHERE LOCATED

DRAWING NUMBER
A200 DRAWING NUMBER WHERE LOCATED

P1 PHOTOGRAPH REFERENCE

ELEVATION REFERENCE (IN SECTION/ELEVATION):
43.30' ELEVATION
T/O MAIN FLOOR
SUBFLOORING—DESCRIPTION OF ELEVATED MATERIAL (MATCH EXISTING)

ELEVATION REFERENCE (IN PLAN):
18.70' ELEVATION
EXISTING FIN. GRADE—DESCRIPTION OF ELEVATED MATERIAL

DRAWING INDEX:

ID0 BUILDING AND SITE STATISTICS, SITE PLAN, GENERAL NOTES
ID1 EXISTING BASEMENT FLOOR PLAN
ID2 PROPOSED BASEMENT FLOOR PLAN
ID3 EXISTING MAIN AND UPPER FLOOR PLANS

03/18/2022 1 BUILDING PERMIT
ISSUED: REV ISSUE:
MMDDYYYY

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1031 Brunette Ave. PO box 57520, Coquitlam BC V3K 5C3
(604) 492-4959 info@westcoastmeasuring.com

PROJECT:

GOUNDREY RESIDENCE
PROPOSED SECONDARY
SUITE ADDITION
6337 165A STREET,
SURREY V3S 0W2

DRAWN: DATE:
EM MARCH 18, 2022

MEASURED: SCALE:
EM AS NOTED

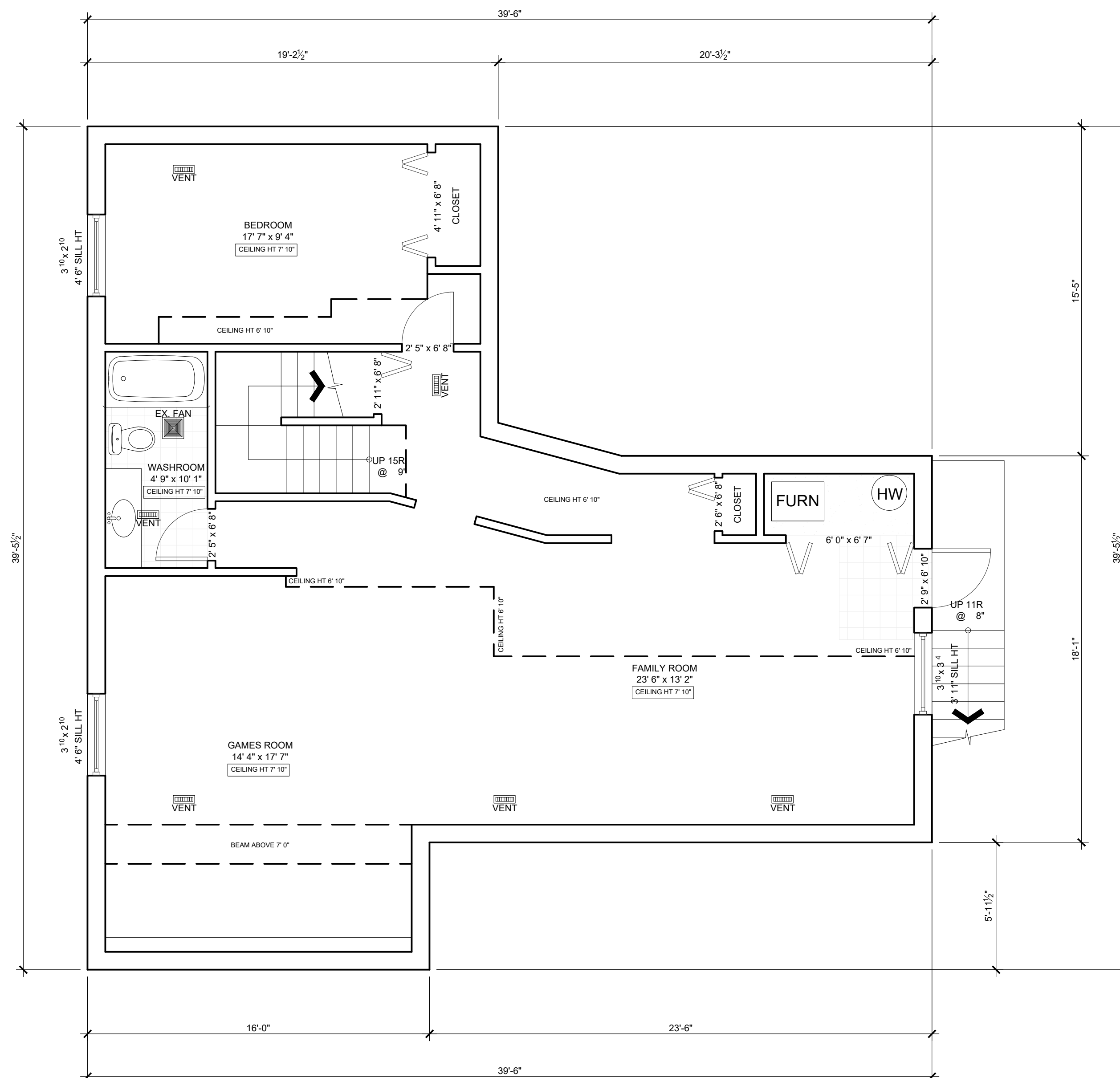
TITLE FILE: JOB NO:
165633 21-0001

SHEET TITLE:

SITE PLAN,
BUILDING & SITE
STATISTICS,
GENERAL NOTES

DRAWING NUMBER:

ID0



1
ID1

EXISTING BASEMENT FLOOR PLAN

1/4" = 1'-0"

GROSS AREA 1,110.20 ±SQ. FT.

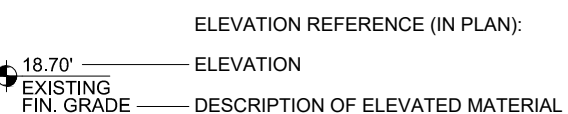
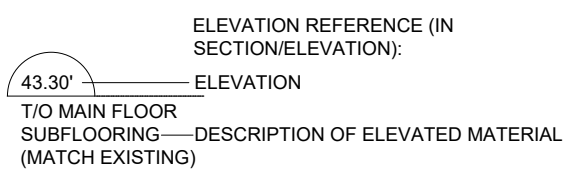
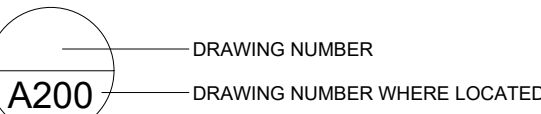
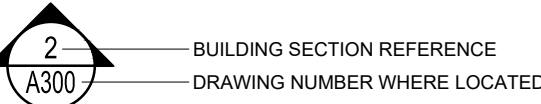
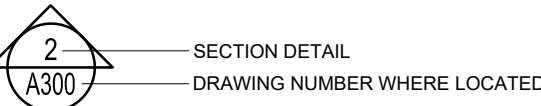
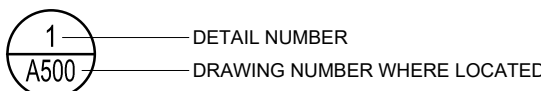
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ID3	EXISTING MAIN AND UPPER FLOOR PLANS

03/18/2022	1	BUILDING PERMIT
ISSUED: MM/DD/YYYY	REV	ISSUE:

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PROJECT:

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PROPOSED SECONDARY
SUITE ADDITION
6337 165A STREET,
SURREY V3S 0W2

DRAWN: EM DATE: MARCH 18, 2022

MEASURED: EM SCALE: AS NOTED

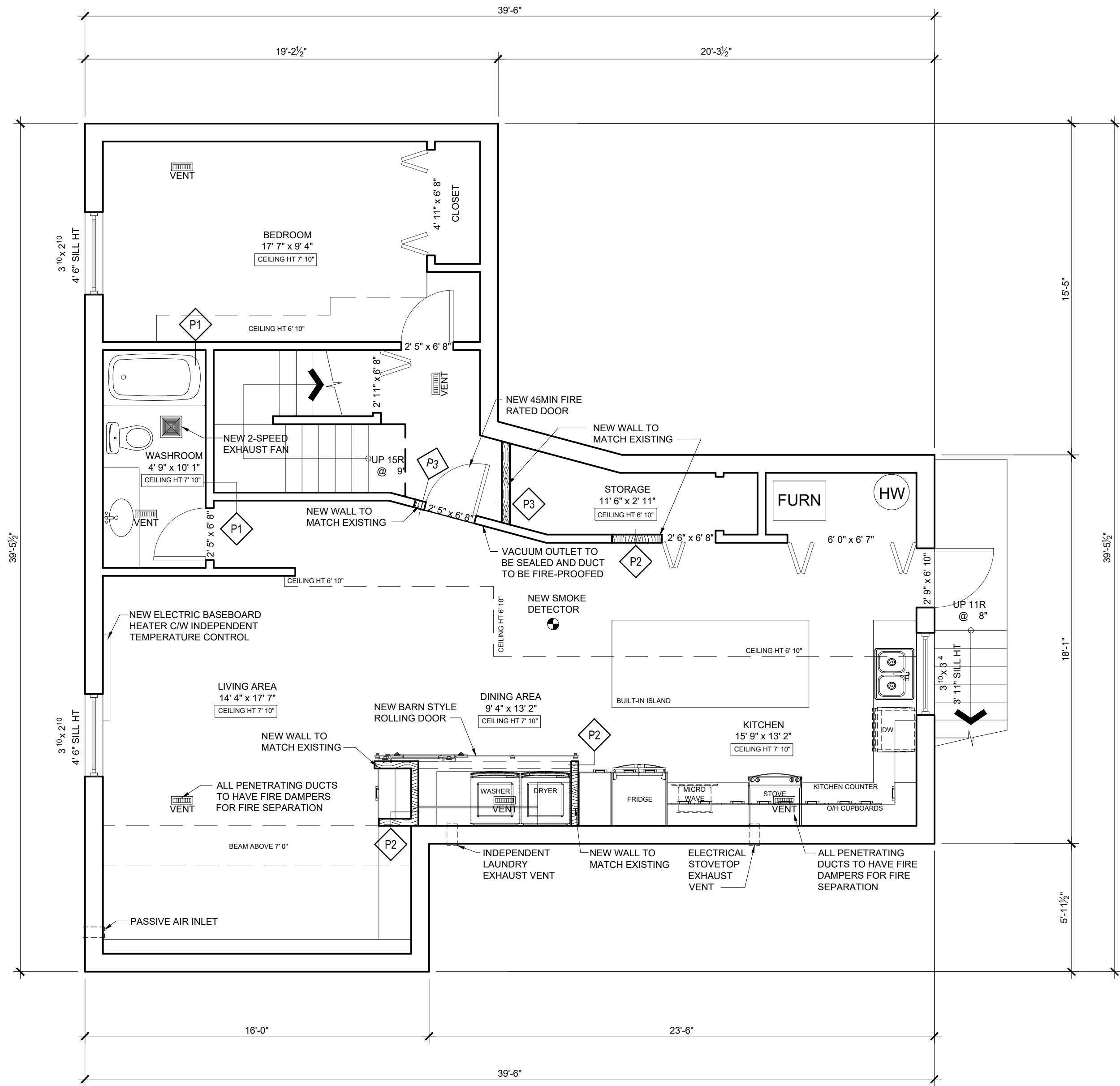
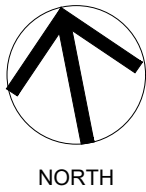
TITLE FILE: 165633 JOB NO: 21-0001

SHEET TITLE:

EXISTING BASEMENT FLOOR PLAN

DRAWING NUMBER:

ID1



1
ID2
PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

GROSS AREA 1,110.20 ±SQ. FT.
SECONDARY SUITE AREA 818.07 ±SQ. FT.

LEGEND
EXISTING WOOD-FRAME CONSTRUCTION
NEW WOOD-FRAME CONSTRUCTION

CONSTRUCTION ASSEMBLY SCHEDULE:

- INTERIOR PARTITION ASSEMBLIES:
- MODIFIED EXISTING COMMON WALL (45 MIN. F.R.R.):**
- EXISTING 1/2" GYPSUM BOARD C/W PRIMED & PAINTED FINISH
 - EXISTING 2x4 WOOD STUDS @ 16" OR 24" O.C.
 - 3 1/2" MINERAL ROCK WOOL BATT INSULATION
 - 5/8" TYPE 'X' GYPSUM BOARD C/W PRIMED & PAINTED FINISH

- TYPICAL PARTITION WALL:**
- 1/2" GYPSUM BOARD C/W PR & PTD FINISH.
 - 2x4 WOOD STUDS @ 16" O.C. MAXIMUM
 - 1/2" GYPSUM BOARD C/W PRIMED & PAINTED FINISH

- NEW COMMON WALL (45 MIN. F.R.R.):**
- 5/8" TYPE 'X' GYPSUM BOARD C/W PR & PTD FINISH.
 - 3 1/2" MINERAL ROCKWOOL BATT INSULATION
 - 2x4 WOOD STUDS @ 24" O.C. MAXIMUM
 - 5/8" TYPE 'X' GYPSUM BOARD C/W PRIMED & PTD. FINISH

- FLOOR ASSEMBLY:
- EXISTING WOOD FRAME FLOOR (45 MIN. F.R.R.):**
- EXISTING FINISH FLOORING
 - EXISTING PLYWOOD SHEATHING
 - EXISTING WOOD FLOOR JOISTS
 - 5" ACCOUSTIC MINERAL ROCKWOOL INSULATION
 - 5/8" TYPE 'X' GYPSUM BOARD C/W PRIMED & PAINTED FINISH

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DRAWING REFERENCE SYMBOLS:

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A500
DETAIL NUMBER
DRAWING NUMBER WHERE LOCATED
- 2
A300
SECTION DETAIL
DRAWING NUMBER WHERE LOCATED
- 2
A300
BUILDING SECTION REFERENCE
DRAWING NUMBER WHERE LOCATED
- A200
DRAWING NUMBER
DRAWING NUMBER WHERE LOCATED
- P1
PHOTOGRAPH REFERENCE
- 43.30'
ELEVATION
ELEVATION REFERENCE (IN SECTION/ELEVATION),
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SUBFLOORING—DESCRIPTION OF ELEVATED MATERIAL (MATCH EXISTING)
- 18.70'
ELEVATION
ELEVATION REFERENCE (IN PLAN):
EXISTING
FIN. GRADE—DESCRIPTION OF ELEVATED MATERIAL

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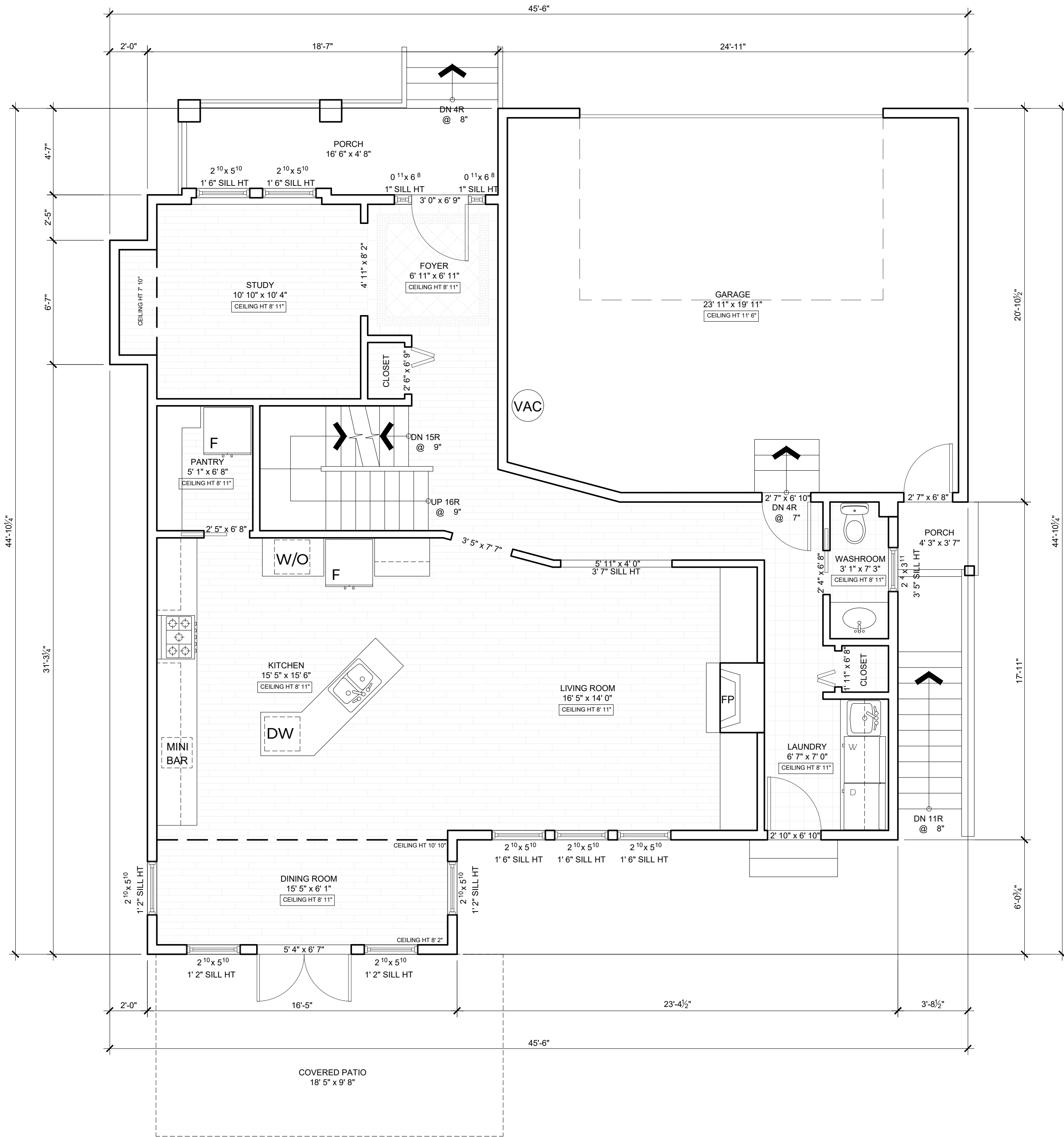
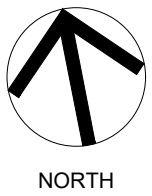
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TITLE FILE: JOB NO:
165633 21-0001

SHEET TITLE:

PROPOSED BASEMENT
FLOOR PLAN

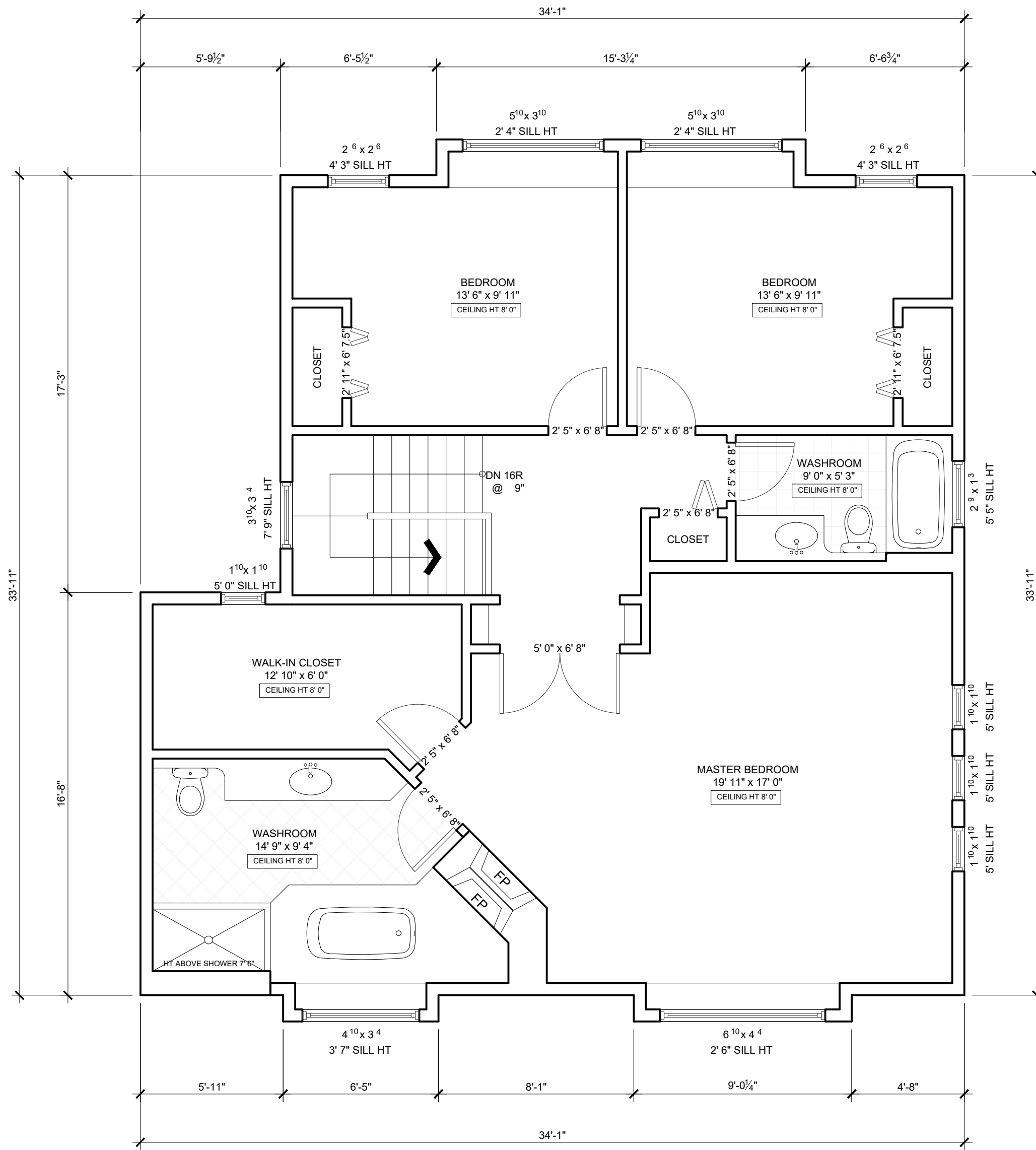
DRAWING NUMBER:
ID2



1
ID3

EXISTING MAIN FLOOR PLAN
1/4" = 1'-0"

GROSS AREA	1,151.74 ±SQ. FT.
AUXILIARY AREAS (PATIO, PORCH)	280.97 ±SQ. FT.
AUXILIARY AREAS (GARAGE)	496.78 ±SQ. FT.



2
ID3

EXISTING UPPER FLOOR PLAN
1/4" = 1'-0"

GROSS AREA 1,055.09 ±SQ. FT.

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2
A300

SECTION DETAIL
DRAWING NUMBER WHERE LOCATED

2
A300

BUILDING SECTION REFERENCE
DRAWING NUMBER WHERE LOCATED

A200

DRAWING NUMBER
DRAWING NUMBER WHERE LOCATED

P1

PHOTOGRAPH REFERENCE

43.30'

ELEVATION REFERENCE (IN SECTION/ELEVATION);
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SUBFLOORING—DESCRIPTION OF ELEVATED MATERIAL (MATCH EXISTING)

18.70'

ELEVATION REFERENCE (IN PLAN);
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EXISTING MAIN AND
UPPER FLOOR PLAN

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ID3