

## BUILDING MEASURE STATISTICS

**MUNICIPAL ADDRESS OF BUILDING:**  
61-12500 MCNEELY DR RICHMOND V6V 2S4

**LEGAL DESCRIPTION OF PROPERTY:**  
Strata Lot 77 Block 5N Plan LMS938 Section 31 Range 5W Land District 36 TOGETHER WITH AN  
INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE  
STRATA LOT AS SHOWN ON FORM 1

PID: 018-351-310

AREA CALCULATIONS:

|                          |                 |                 |
|--------------------------|-----------------|-----------------|
| UPPER FLOOR GROSS AREA:  | 695.50          | ±SQ. FT.        |
| MAIN FLOOR GROSS AREA:   | 699.78          | ±SQ. FT.        |
| LOWER FLOOR GROSS AREA:  | 233.14          | ±SQ. FT.        |
| <b>TOTAL GROSS AREA:</b> | <b>1,611.64</b> | <b>±SQ. FT.</b> |

|                                                        |                   |
|--------------------------------------------------------|-------------------|
| AUXILIARY AREAS (BALCONY, DECK, OUTBUILDINGS, ETC...): | 652.27 ±SQ. FT.   |
| TOTAL MEASURED AREA:                                   | 2,263.91 ±SQ. FT. |

NOTES:

Existing conditions recorded on site using a Leica DISTO Laser Distance Meter, Matterport Infrared HD Scanner, and/or a Leica BLK360 Laser Scanner. All dimensions +/- 2%

Gross Area is calculated to the outside face of exterior walls or the assumed mid-point of demising walls (if applicable).

Exterior walls assumed to be either 6" or 8" thick U.N.O

General contractor to check and confirm all dimensions, elevations and datum's prior to any demolition or construction.

Any and all work to be done in accordance with the latest edition of the British Columbia Building Code, and all local municipal bylaws.

Do not scale drawing. While deemed correct, existing conditions shown on this plan are not guaranteed.

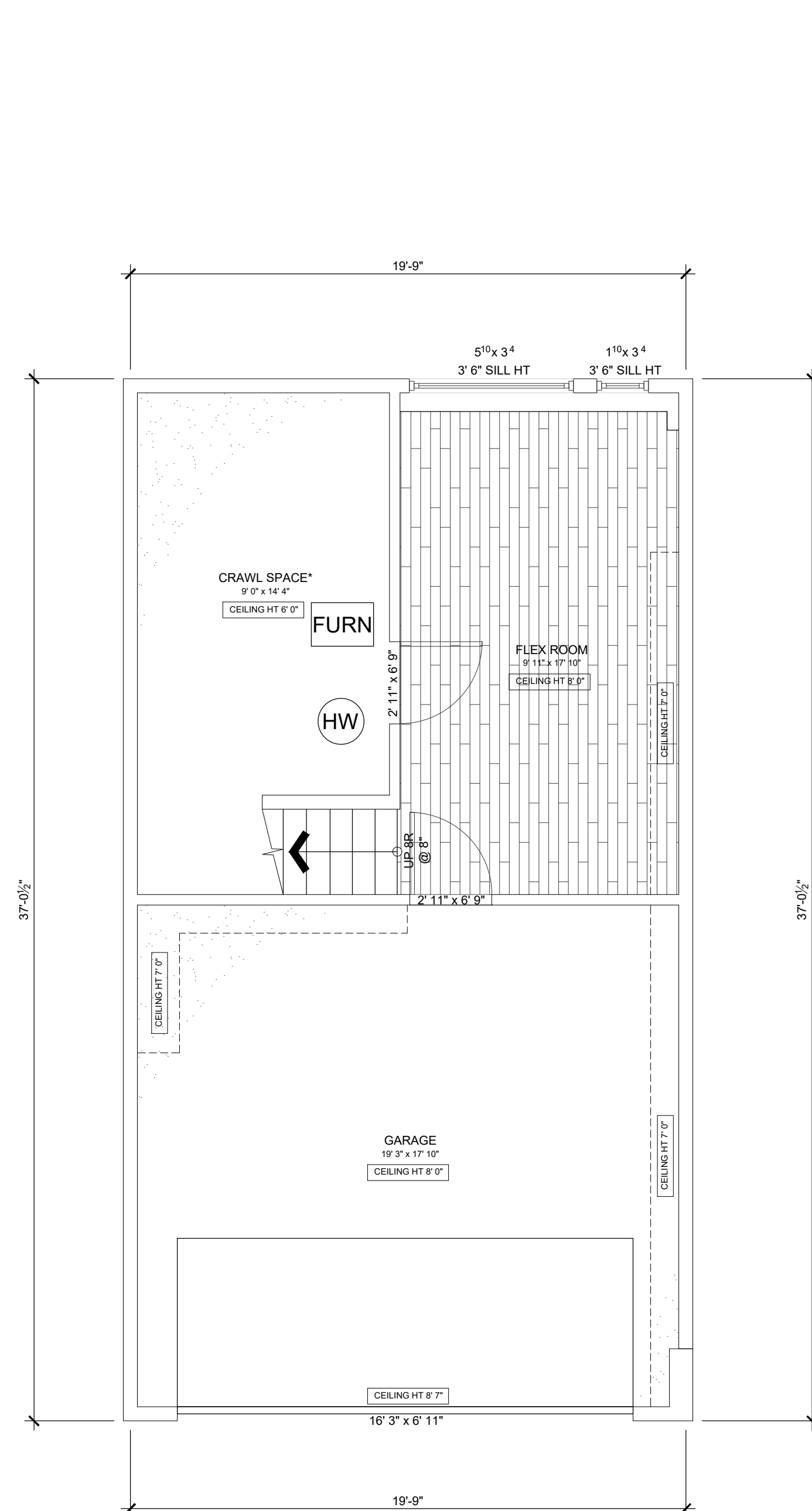
Gross Area Calculations include all area's, regardless of ceiling height clearances, and therefore may include under height area's.

All sill heights are @ finished floor, U.N.O.

This drawing supercedes all previous issues/revisions.

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CLIENT:

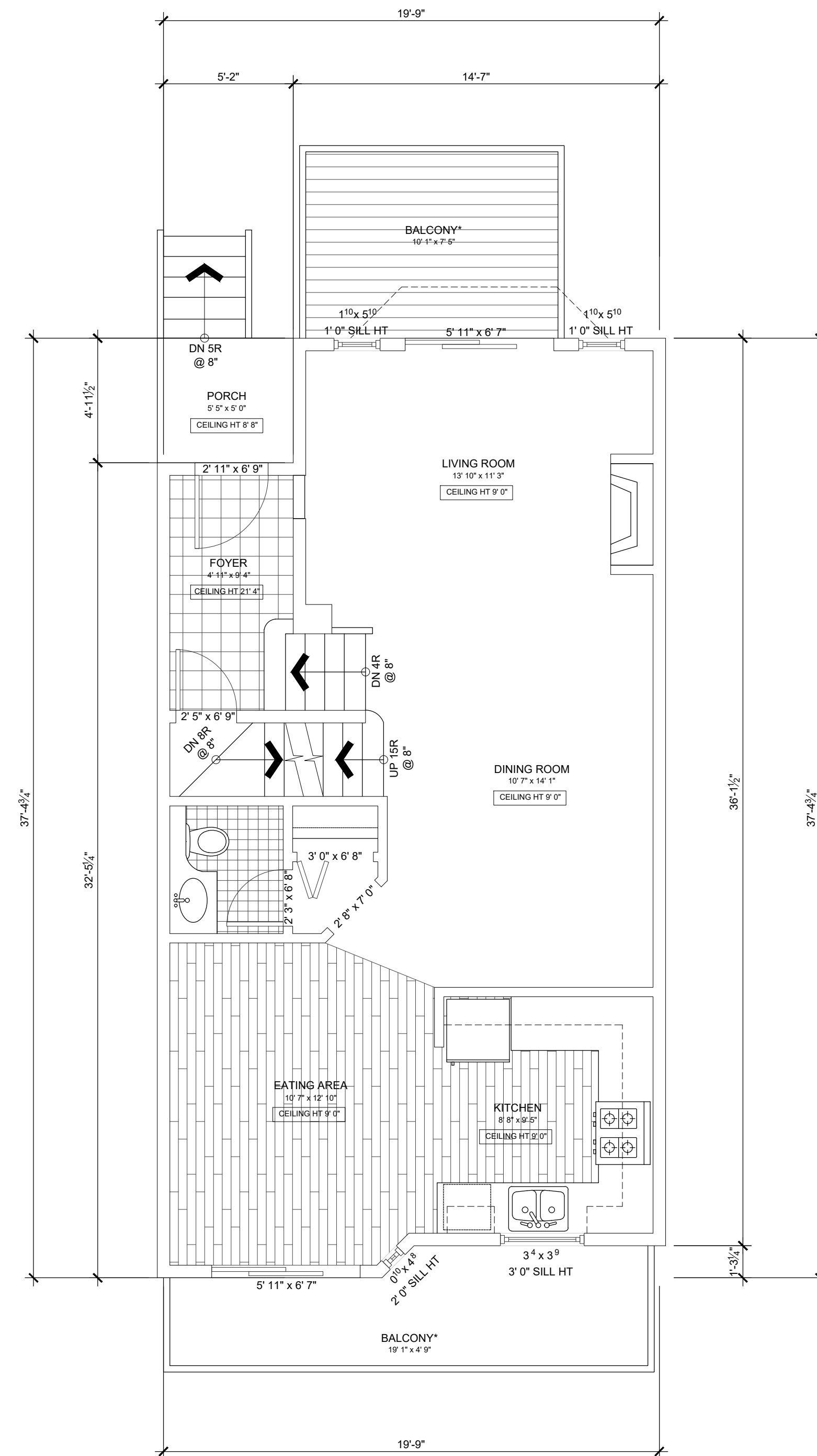


1  
A201

EXISTING BELOW MAIN FLOOR PLAN

1/4" = 1'-0"

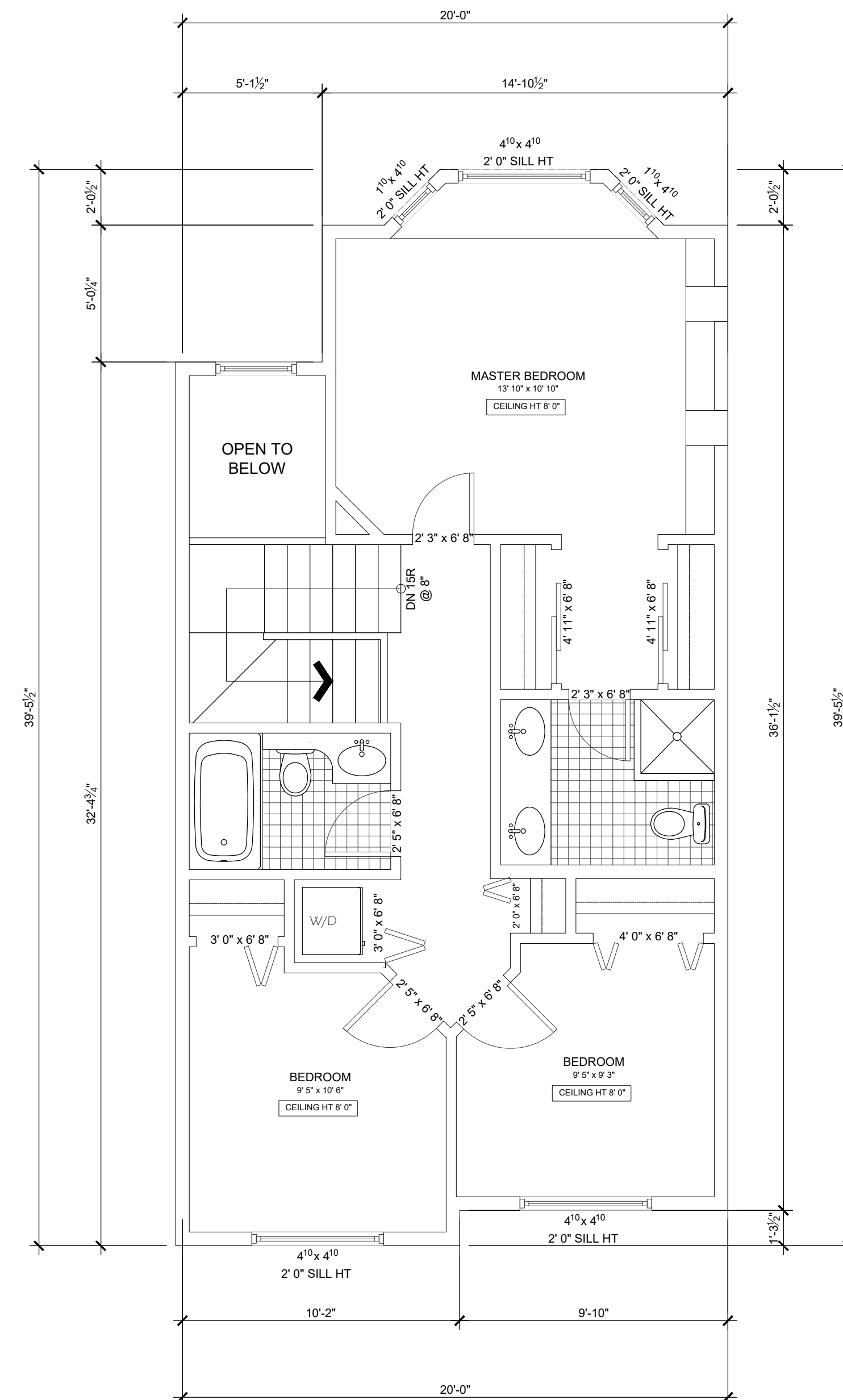
GROSS AREA 233.14 ±SQ. FT.



2  
A201

EXISTING MAIN FLOOR PLAN  
1/4" = 1'-0"

GROSS AREA 699.78 ±SQ. FT.



3 EXISTING ABOVE MAIN FLOOR PLAN  
A201 1/4" = 1'-0"

GROSS AREA 753.44 ±SQ. FT.

|                       |     |                         |
|-----------------------|-----|-------------------------|
|                       |     |                         |
| 05/12/2021            | 1   | AS-BUILT RECORD DRAWING |
| ISSUED:<br>MM/DD/YYYY | REV | ISSUE:                  |

west coast  
MEASURING

PROJECT:

AS-BUILT DRAWINGS

61-12500 MCNEELY DRIVE  
RICHMOND V6V 2S4

|        |                |
|--------|----------------|
| DRAWN: | DATE MEASURED: |
| EM     | JUN. 08, 2021  |

MEASURED: EM  
SCALE: AS NOTED

TITLE FILE: MCN125                      JOB NO: 21-0213

SHEET TITLE:

## AS-BUILT FLOOR PLANS

DRAWING NUMBER:

A200