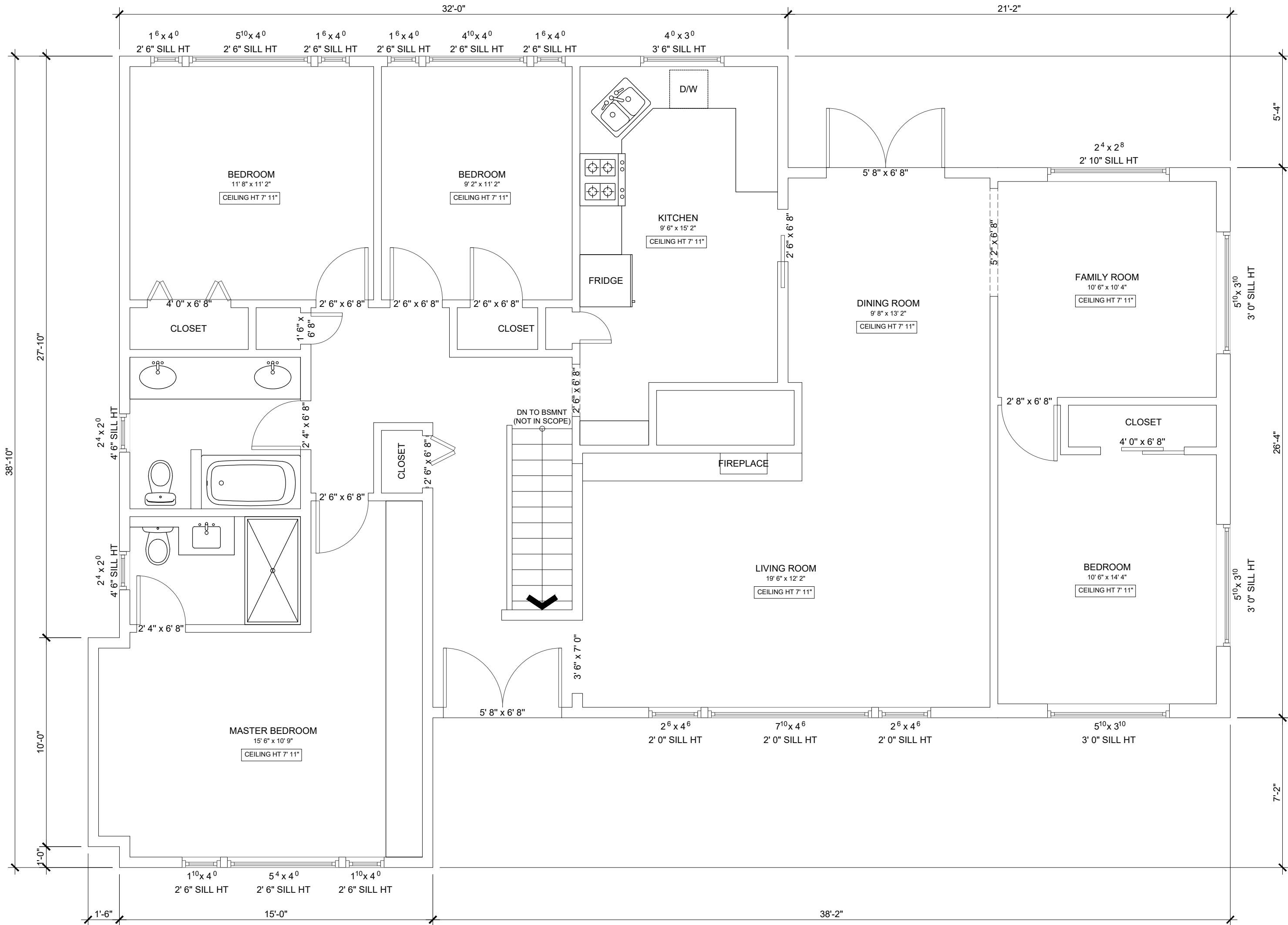
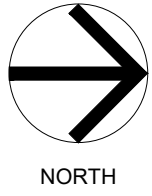




1 EXISTING MAIN FLOOR PLAN
A200 1/4" = 1'-0"

GROSS AREA 1,693.22 ±SQ. FT.

BUILDING MEASURE STATISTICS

MUNICIPAL ADDRESS OF BUILDING:
1109 VICTORY DRIVE, PORT MOODY BC V3H 1K3

LEGAL DESCRIPTION OF PROPERTY:
Lot F Block 73-76 Plan NWP21503 District Lot 377 Land District 1 Land District 36
PID: 005-201-071

AREA CALCULATIONS:
MAIN FLOOR GROSS AREA: 1,693.22 ±SQ. FT.

NOTES:

Existing conditions recorded on site using a Leica DISTO Laser Distance Meter, Matterport Infrared HD Scanner, and/or a Leica BLK360 Laser Scanner. All dimensions +/- 2%

Gross Area is calculated to the outside face of exterior walls or the assumed mid-point of demising walls (if applicable).

Exterior walls assumed to be either 6" or 8" thick U.N.O

General contractor to check and confirm all dimensions, elevations and datum's prior to any demolition or construction.

Any and all work to be done in accordance with the latest edition of the British Columbia Building Code, and all local municipal bylaws.

Do not scale drawing. While deemed correct, existing conditions shown on this plan are not guaranteed.

Gross Area Calculations include all area's, regardless of ceiling height clearances, and therefore may include under height area's.

All sill heights are @ finished floor, U.N.O.

This drawing supercedes all previous issues/revisions.

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CLIENT:

03/30/2021	1	AS-BUILT RECORD DRAWING
ISSUED: MM/DD/YYYY	ISSUE:	
REV		

west coast
MEASURING

MEASURING | FLOOR PLANS | DRAFTING

1031 Brunette Ave. PO box 57529, Coquitlam BC V3K 5C3
(604) 452-4959 info@westcoastmeasuring.com

PROJECT:

AS-BUILT DRAWINGS

LOO RESIDENCE

DRAWN: KO	DATE MEASURED: MAR. 15, 2021
MEASURED: KO	SCALE: AS NOTED
TITLE FILE: VIC110	JOB NO: 21-0150

SHEET TITLE:

EXISTING MAIN FLOOR

DRAWING NUMBER:

A200